

APOPKA CITY COUNCIL AGENDA
May 04, 2016 1:30 PM
APOPKA CITY HALL COUNCIL CHAMBERS

CALL TO ORDER

INVOCATION - Reverend Laura Viau of First Presbyterian Church of Apopka
PLEDGE

Please submit a "Notice of Intent to Speak card" to the City Clerk. Action may not be taken by the Council at this meeting but questions may be answered by staff or issues may be referred for appropriate staff action. If further action is necessary, the item may be placed on the agenda for further review and consideration. NOTE: Zoning or code enforcement matters which may be coming before the Board at a later date should not be discussed until such time as they come before the Board in a public hearing.

Pursuant to F.S. 286.0114, members of the public shall be given a reasonable opportunity to be heard on propositions before the City Council. Accordingly, comments, questions, and concerns regarding items listed on this agenda shall be received at the time the City Council addresses such items during this meeting. Public comments are generally limited to four minutes.

APPROVAL OF MINUTES:

1. City Council meeting April 20, 2016.

PUBLIC/STAFF RECOGNITION AND ACKNOWLEDGEMENT

Proclamations:

1. Teacher Appreciation Week Proclamation Mayor Kilsheimer
2. National Bike to School Day Proclamation presented to Principal Gary Schadow Mayor Kilsheimer
3. National Police Week Proclamation presented to Chief Michael McKinley Mayor Kilsheimer

Employee Recognition:

- ❖ Five Year Service Award – Juan Montealegre – Public Services/Street Maintenance
- ❖ Five Year Service Award – Mark Creaser – Police Department/Field Services
- ❖ Fifteen Year Service Award – Aubry Stephens – Public Services/Utility Construction
- ❖ Fifteen Year Service Award – Victor Barger, III – Police Department/Support Services
- ❖ Twenty Five Year Service Award – Shari Major – Police Department/Support Services

Presentations:

1. 2016 Legislative Session Update Senator Geraldine F. Thompson
2. Presentation on Recreation Program & Rental Fees. David Burgoon
3. Splash Pad Update Glenn A. Irby

CONSENT (Action Item)

1. Authorization to engage in negotiations with an Architectural & Engineering Firm to provide design plans for a new Fire Station.
2. Authorize the Vehicle for Hire Permit Application for T-Max Transportation Services, LLC – Maxo Angervil
3. Authorize the Vehicle for Hire Permit Application for U-First Transportation – Ronald Joseph
4. Authorize the Capital Facility Fees Payment Agreement for Ambergate Townhomes.
5. Authorize the Orange County Supervisor of Elections to use the Northwest Recreation Complex as a polling location.

PUBLIC HEARINGS/ORDINANCES/RESOLUTION (Action Item)

1. Ordinance 2493 – Second Reading – Change of Zoning - Quasi-Judicial David Moon
2. Ordinance 2494 – Second Reading – Annexation David Moon
3. Ordinance 2495 – Second Reading – Annexation David Moon

BUSINESS (Action Item)

1. Final Development Plan/Plat – Silver Oak Subdivision- Quasi-Judicial David Moon
2. Council
3. Public

MAYOR'S REPORT

- 1. Approve the appointment of Kerry Luellen to the Police Officers' Retirement System Board of Trustees.
- 2. Approve the appointment of Randall G. West to the Police Officers' Retirement System Board of Trustees.
- 3. Approve the reappointment of Todd Bengston to the Firefighters' Retirement System Board of Trustees.
- 4. Approve the reappointment of Mayor Kilsheimer to the Firefighters' Retirement System Board of Trustees.

NOT REQUIRING ACTION

- 1. Thank you letter to the City of Apopka from the Harbor House of Central Florida.

ADJOURNMENT

MEETINGS AND UPCOMING EVENTS

DATE	TIME	EVENT
May 5, 2016	5:30pm – 9:00pm	Food Truck Round Up – Kit Land Nelson Park
May 7, 2016	12:00pm – 9:00pm	Cinco de Mayo Event – Northwest Recreation Complex
May 10, 2016	5:30pm – 6:00pm	Planning Commission Meeting
May 18, 2016	7:00pm –	City Council Meeting
June 1, 2016	1:30pm -	City Council Meeting
June 2, 2016	5:30pm – 9:00pm	Food Truck Round Up
June 14, 2016	5:30pm – 6:00pm	Planning Commission Meeting
June 15, 2016	7:00pm –	Council Meeting

Individuals with disabilities needing assistance to participate in any of these proceedings should contact the City Clerk at least two (2) working days in advance of the meeting date and time at (407) 703-1704. F.S. 286.0105 If a person decides to appeal any decision or recommendation made by Council with respect to any matter considered at this meeting, he will need record of the proceedings, and that for such purposes he may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.

Any opening invocation that is offered before the official start of the Council meeting shall be the voluntary offering of a private person, to and for the benefit of the Council. The views or beliefs expressed by the invocation speaker have not been previously reviewed or approved by the City Council or the city staff, and the City is not allowed by law to endorse the religious or non-religious beliefs or views of such speaker. Persons in attendance at the City Council meeting are invited to stand during the opening ceremony. However, such invitation shall not be construed as a demand, order, or any other type of command. No person in attendance at the meeting shall be required to participate in any opening invocation that is offered or to participate in the Pledge of Allegiance. You may remain seated within the City Council Chambers or exit the City Council Chambers and return upon completion of the opening invocation and/or Pledge of Allegiance if you do not wish to participate in or witness the opening invocation and/or the recitation of the Pledge of Allegiance.

Backup material for agenda item:

1. City Council meeting April 20, 2016.

CITY OF APOPKA

Minutes of the regular City Council meeting held on April 20, 2016, at 7:00 p.m., in the City of Apopka Council Chambers.

PRESENT: Mayor Joe Kilsheimer
Commissioner Bill Arrowsmith
Commissioner Billie Dean
Commissioner Diane Velazquez
Commissioner Sam Ruth
City Attorney Cliff Shepard
City Administrator Glenn Irby

PRESS PRESENT: John Peery - The Apopka Chief
Bethany Rodgers, Orlando Sentinel

INVOCATION: Mayor Kilsheimer introduced Pastor Jason Henderson of Grace Pointe Church, who gave the invocation.

PLEDGE OF ALLEGIANCE: Mayor Kilsheimer said on April 18, 1775, Paul Revere and William Dawes set off on their historic ride to warn patriot leaders in Concord that British troops had been dispatched to seize their arms. They rode through the countryside to Boston and rallied the minutemen to take up arms and fight against the British with the cry "The British are coming." Part of the long rehearsed plan was to place lanterns in the steeple of Boston's Old North Church to alert the minutemen of British troop movement, "One if by land, two if by sea." On that evening, Paul Revere placed two lanterns in the steeple and the militia met the British troops at Concord at about 5:00 a.m. on April 19. In that confrontation, the "shot heard around the world" was fired and the brief Battle of Lexington began the American Revolution. He asked everyone to reflect upon the vigilance and gallantry of the American Patriots as he led in the Pledge of Allegiance.

APPROVAL OF MINUTES:

1. City Council Regular meeting April 6, 2016.

MOTION by Commissioner Dean, and seconded by Commissioner Ruth, to approve the April 6, 2016 City Council minutes. Motion carried unanimously with Mayor Kilsheimer, and Commissioners Arrowsmith, Dean, Velazquez, and Ruth voting aye.

PUBLIC/STAFF RECOGNITION AND ACKNOWLEDGEMENT

Presentation:

- 1. Check Presentation to Boy Scout Troop 211 for Parking at Old Florida Outdoor Festival**
A presentation of a check in the amount of \$3,222.29 was presented to Boy Scout Troop 211 for parking cars at the Old Florida Outdoor Festival.
- 2. Update on *Apopka Begins and Ends with "A" Program***

Mayor Kilsheimer recognized Gerry Glynn with City of Life Foundation, and stated he has been serving as our chief facilitator for discussions at both Lovell Elementary School and Rock

Springs Elementary School. He acknowledged John Wright, Area Superintendent for the North Learning Community; Oscar Aguirre, Principal of Lovell Elementary School; Brian Burns, Principal of Rock Springs Elementary School; Christine Moore, School Board Member; and Bryan Nelson, Orange County Commissioner.

Gerry Glynn, City of Life Foundation, provided an update on *Apopka Begins and Ends with "A"*. He said he has been honored to play the role of facilitator for this program, stating this has been an effort to bring the community and the schools together to help lift the schools up. He affirmed there have been several members from the community who have participated in this effort bringing the resources of the community and schools together. He said this is not just improving the schools and the students' performance, but it is also raising the public and citizens perception of Apopka schools through a strong partnership. The focus is to achieve an "A" rating for the schools. However, it is not just about the technical part of what the grades mean about the schools, but how the community can help the schools. A copy of his presentation is on file in the Clerk's office.

John Wright, Orange County Public Schools Area Superintendent of the North Learning Community, said Orange County serves almost 200,000 students. He thanked the City for their interest and said understanding public education is not easy, it takes all working together to make a vision reality. He said it was very impressive how Apopka and this whole community embraces and supports the schools. He stated this is not about the "A", but about the students and he hopes this program expands to all Apopka schools.

Oscar Aguirre, Principal of Lovell Elementary School, said he was very excited about this project and having the community work together to serve the students. He stated this will eventually contribute to the businesses in the area as successful students become citizens in the Apopka area. He said this project is about building the child as a whole in all areas that they need support.

Brian Burns, Principal of Rock Springs Elementary School, said Apopka is a very special town to be a part of and he has been honored being the principal of Rock Springs Elementary School. He declared what is great about the community action team is that they move beyond the incentives of reading a book or being on the honor roll. This is getting people in the schools and working with the students, connecting with them and helping with learning. He thanked all of the volunteers who come in and work with the students.

In response to Commissioner Dean inquiring what can be done to get top teachers in the low performing schools, Dr. Wright advised there are incentives offered for teachers that go to struggling schools. In addition, Principal Aguirre said the good news is that Lovell Elementary has very strong teachers, however, now they are going through professional development for those teachers, as they do not understand how to teach poverty stricken children. He stated these children learn differently from what they are used to and struggle, so his job through the district is to teach and prepare their teachers so they can meet the demands of these students.

CONSENT (Action Item)

1. Approve the Disbursement Report for the month of March, 2016.
2. Approve the appointment of Roger Simpson to the Planning Commission.
3. Approve the purchase of body worn cameras.

4. Authorize a scoreboard & windscreen sponsorship from Modern Orthodontics.
5. Authorize Public Services to reallocate funds in the 2015-2016 approved budget.
6. Award a contract for Domestic Wastewater Residuals Transport to Shelley's Environmental Systems.
7. Award contracts to PRMG for a Police, Fire/EMS, and Parks & Recreation Impact Fee Studies.
8. Authorization to engage in negotiations for a Construction Manager at Risk for the Water Reclamation Facility Expansion.

MOTION by Commissioner Ruth, and seconded by Commissioner Velazquez, to approve the eight items on the Consent Agenda. Motion carried unanimously with Mayor Kilsheimer, and Commissioners Arrowsmith, Dean, Velazquez, and Ruth voting aye.

PUBLIC HEARINGS/ORDINANCES/RESOLUTION (Action Item)

Mayor Kilsheimer said the first seven ordinances were Administrative Rezoning and quasi-judicial. Witnesses were sworn in by the clerk for these ordinances.

1. Ordinance No. 2476 – Second Reading – 2016-1 Administrative Rezoning. The City Clerk read the title as follows:

ORDINANCE NO. 2476

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF APOPKA, FLORIDA, CHANGING THE ZONING FROM “COUNTY” A-1 (AGRICULTURE) TO “CITY” AG (AGRICULTURE) FOR CERTAIN REAL PROPERTIES GENERALLY LOCATED WITHIN THE CITY LIMITS OF APOPKA, COMPRISING 6.14 ACRES, MORE OR LESS, AND OWNED BY DONALD S. & KATHLEEN V. SMITHERS; PROVIDING FOR DIRECTIONS TO THE COMMUNITY DEVELOPMENT DIRECTOR, SEVERABILITY, CONFLICTS, AND AN EFFECTIVE DATE.

Mayor Kilsheimer opened the meeting to a public hearing. No one wishing to speak, he closed the public hearing.

MOTION by Commissioner Arrowsmith, and seconded by Commissioner Dean, to adopt Ordinance No. 2476. Motion carried unanimously with Mayor Kilsheimer, and Commissioners Arrowsmith, Dean, Velazquez, and Ruth voting aye.

2. Ordinance No. 2477 – Second Reading – 2016-1 Administrative Rezoning. The City Clerk read the title as follows:

ORDINANCE NO. 2477

AN ORDINANCE OF THE CITY OF APOPKA, FLORIDA, CHANGING THE ZONING FROM “COUNTY” A-1 AND A-2 (ZIP) TO “CITY” AG (AGRICULTURE) FOR CERTAIN REAL PROPERTIES GENERALLY LOCATED WITHIN THE CITY LIMITS OF APOPKA, COMPRISING

13.32 ACRES, MORE OR LESS, AND OWNED BY ROBERT AND JOYCE AYERS; JAMES AND PAMELIA WRIGHT; AND MICHAEL AND MELESSA HANDY; PROVIDING FOR DIRECTIONS TO THE COMMUNITY DEVELOPMENT DIRECTOR, SEVERABILITY, CONFLICTS, AND AN EFFECTIVE DATE.

Mayor Kilsheimer opened the meeting to a public hearing. No one wishing to speak, he closed the public hearing.

MOTION by Commissioner Ruth, and seconded by Commissioner Dean, to adopt Ordinance No. 2477. Motion carried unanimously with Mayor Kilsheimer, and Commissioners Arrowsmith, Dean, Velazquez, and Ruth voting aye.

3. Ordinance No. 2478 – Second Reading – 2016-1 Administrative Rezoning. The City Clerk read the title as follows:

ORDINANCE NO. 2478

AN ORDINANCE OF THE CITY OF APOPKA, FLORIDA, CHANGING THE ZONING FROM “COUNTY” C-1 (ZIP) AND A-1 (ZIP) TO “CITY” PO/I (PROFESSIONAL OFFICE/INSTITUTION) FOR CERTAIN REAL PROPERTIES GENERALLY LOCATED WITHIN THE CITY LIMITS OF APOPKA, COMPRISING 19.35 ACRES, MORE OR LESS, AND OWNED BY TRINITY BAPTIST CHURCH OF APOPKA; PROVIDING FOR DIRECTIONS TO THE COMMUNITY DEVELOPMENT DIRECTOR, SEVERABILITY, CONFLICTS, AND AN EFFECTIVE DATE.

Mayor Kilsheimer opened the meeting to a public hearing. No one wishing to speak, he closed the public hearing.

MOTION by Commissioner Arrowsmith, and seconded by Commissioner Dean, to adopt Ordinance No. 2478. Motion carried unanimously with Mayor Kilsheimer, and Commissioners Arrowsmith, Dean, Velazquez, and Ruth voting aye.

4. Ordinance No. 2479 – Second Reading – 2016-1 Administrative Rezoning. The City Clerk read the title as follows:

ORDINANCE NO. 2479

AN ORDINANCE OF THE CITY OF APOPKA, FLORIDA, CHANGING THE ZONING FROM “COUNTY” C-3 (ZIP) TO “CITY” C-1 (RETAIL COMMERCIAL) FOR CERTAIN REAL PROPERTIES GENERALLY LOCATED WITHIN THE CITY LIMITS OF APOPKA, COMPRISING 3.32 ACRES, MORE OR LESS, AND OWNED BY NORMAN E. SAWYER; AND IGLESIA EL GETSEMANI, INC.; PROVIDING FOR DIRECTIONS TO THE COMMUNITY DEVELOPMENT DIRECTOR, SEVERABILITY, CONFLICTS, AND AN EFFECTIVE DATE.

Mayor Kilsheimer opened the meeting to a public hearing. No one wishing to speak, he closed the public hearing.

MOTION by Commissioner Velazquez, and seconded by Commissioner Dean, to adopt Ordinance No. 2479. Motion carried unanimously with Mayor Kilsheimer, and Commissioners Arrowsmith, Dean, Velazquez, and Ruth voting aye.

5. Ordinance No. 2480 – Second Reading – 2016-1 Administrative Rezoning. The City Clerk read the title as follows:

ORDINANCE NO. 2480

AN ORDINANCE OF THE CITY OF APOPKA, FLORIDA, CHANGING THE ZONING FROM “COUNTY” C-1 (ZIP) TO “CITY” C-2 (GENERAL COMMERCIAL) FOR CERTAIN REAL PROPERTIES GENERALLY LOCATED WITHIN THE CITY LIMITS OF APOPKA, COMPRISING 3.2 ACRES, MORE OR LESS, AND OWNED BY 7-ELEVEN, INC.; ACTION GATOR TIRE; AND RACETRAC PETROLEUM, INC.; PROVIDING FOR DIRECTIONS TO THE COMMUNITY DEVELOPMENT DIRECTOR, SEVERABILITY, CONFLICTS, AND AN EFFECTIVE DATE.

Mayor Kilsheimer opened the meeting to a public hearing. No one wishing to speak, he closed the public hearing.

MOTION by Commissioner Arrowsmith, and seconded by Commissioner Ruth, to adopt Ordinance No. 2480. Motion carried unanimously with Mayor Kilsheimer, and Commissioners Arrowsmith, Dean, Velazquez, and Ruth voting aye.

6. Ordinance No. 2481 – Second Reading – 2016-1 Administrative Rezoning. The City Clerk read the title as follows:

ORDINANCE NO. 2481

AN ORDINANCE OF THE CITY OF APOPKA, FLORIDA, CHANGING THE ZONING FROM “COUNTY” I-2 (ZIP) AND I-4 (ZIP) TO “CITY” I-1 (GENERAL COMMERCIAL) FOR CERTAIN REAL PROPERTIES GENERALLY LOCATED WITHIN THE CITY LIMITS OF APOPKA, COMPRISING 10.54 ACRES, MORE OR LESS, AND OWNED BY DAVID L. POTOPAS; MARILYN BOUGHAN TRUST; PATRICIA & IRVIN LEADERS TRUST; AND LTR PROPERTIES, INC.; PROVIDING FOR DIRECTIONS TO THE COMMUNITY DEVELOPMENT DIRECTOR, SEVERABILITY, CONFLICTS, AND AN EFFECTIVE DATE.

Mayor Kilsheimer opened the meeting to a public hearing. No one wishing to speak, he closed the public hearing.

MOTION by Commissioner Dean, and seconded by Commissioner Arrowsmith, to adopt Ordinance No. 2481. Motion carried unanimously with Mayor Kilsheimer, and Commissioners Arrowsmith, Dean, Velazquez, and Ruth voting aye.

7. Ordinance No. 2482 – Second Reading – 2016-1 Administrative Rezoning. The City Clerk read the title as follows:

ORDINANCE NO. 2482

AN ORDINANCE OF THE CITY OF APOPKA, FLORIDA, CHANGING THE ZONING FROM “COUNTY” R-1 (ZIP) TO “CITY” R-1 (RESIDENTIAL) FOR CERTAIN REAL PROPERTIES GENERALLY LOCATED WITHIN THE CITY LIMITS OF APOPKA, COMPRISING 3.16 ACRES, MORE OR LESS, AND OWNED BY BRIAN AND CHRISTIAN ANDERSON; PROVIDING FOR DIRECTIONS TO THE COMMUNITY DEVELOPMENT DIRECTOR, SEVERABILITY, CONFLICTS, AND AN EFFECTIVE DATE.

Mayor Kilsheimer opened the meeting to a public hearing. No one wishing to speak, he closed the public hearing.

MOTION by Commissioner Ruth, and seconded by Commissioner Arrowsmith, to adopt Ordinance No. 2482. Motion carried unanimously with Mayor Kilsheimer, and Commissioners Arrowsmith, Dean, Velazquez, and Ruth voting aye.

8. Ordinance No. 2492 – Second Reading – Amending the Apopka Land Development Code and update the Utilities Design and Construction Standards Manual. The City Clerk read the title as follows:

ORDINANCE NO. 2492

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF APOPKA, FLORIDA, UPDATE OF THE UTILITIES DESIGN AND CONSTRUCTION STANDARDS MANUAL, PROVIDING FOR SEVERABILITY, CONFLICTS AND AN EFFECTIVE DATE.

Mayor Kilsheimer opened the meeting to a public hearing. No one wishing to speak, he closed the public hearing.

MOTION by Commissioner Ruth, and seconded by Commissioner Dean to adopt Ordinance No. 2492. Motion carried unanimously with Mayor Kilsheimer, and Commissioners Arrowsmith, Dean, Velazquez, and Ruth voting aye.

9. Ordinance 2493 – First Reading – Change of Zoning. The City Clerk read the title as follows:

ORDINANCE NO. 2493

AN ORDINANCE OF THE CITY OF APOPKA, FLORIDA, CHANGING THE ZONING FROM “COUNTY” IND-2 (ZIP) AND IND-3 (ZIP) TO

“CITY” I-1 (RESTRICTED INDUSTRIAL) FOR CERTAIN REAL PROPERTY GENERALLY LOCATED SOUTH OF EAST 13TH STREET, WEST OF SHEELER AVENUE, COMPRISING 17.49 ACRES MORE OR LESS, AND OWNED BY LITTLE BROWNIE PROPERTIES, INC.; PROVIDING FOR DIRECTIONS TO THE COMMUNITY DEVELOPMENT DIRECTOR, SEVERABILITY, CONFLICTS, AND AN EFFECTIVE DATE.

David Moon, Planning Manager, gave a brief lead-in on this property. He advised the property is presently assigned a future land use designation of Industrial, but has not received a city zoning category. The property owner is requesting an I-1 Industrial zoning category. The Planning Commission at their March 8, 2016 meeting recommended approval and found the zoning to be consistent with the Comprehensive Plan and Land Development Code.

Affected parties were sworn in by the City Clerk.

Peter Wood, President of Little Brownie Properties, said they were seeking this rezoning as they are currently located in the HUB zone and are seeking a City zoning classification for any future operations on the property.

Mayor Kilsheimer opened the meeting to a public hearing. No one wishing to speak, he closed the public hearing.

MOTION by Commissioner Arrowsmith and seconded by Commissioner Velazquez, to approve Ordinance No. 2493 at First Reading and hold it over for a Second Reading. Motion carried unanimously with Mayor Kilsheimer, and Commissioners Arrowsmith, Dean, Velazquez, and Ruth voting aye.

10. Ordinance 2494 – First Reading - Annexation. The City Clerk read the title as follows:

ORDINANCE NO. 2494

AN ORDINANCE OF THE CITY OF APOPKA, FLORIDA, TO EXTEND ITS TERRITORIAL AND MUNICIPAL LIMITS TO ANNEX PURSUANT TO FLORIDA STATUTE 171.044 THE HERINAFTER DESCRIBED LANDS SITUATED AND BEING IN ORANGE COUNTY, FLORIDA, OWNED BY SBKP, LLC LOCATED AT 312 OLD DIXIE HIGHWAY; PROVIDING FOR DIRECTIONS TO THE CITY CLERK, SEVERABILITY, CONFLICTS, AND AN EFFECTIVE DATE.

Mayor Kilsheimer opened the meeting to a public hearing. No one wishing to speak, he closed the public hearing.

MOTION by Commissioner Ruth, and seconded by Commissioner Arrowsmith, to approve Ordinance No. 2494 at First Reading and hold it over for a Second Reading. Motion carried unanimously with Mayor Kilsheimer, and Commissioners Arrowsmith, Dean, Velazquez, and Ruth voting aye.

11. Ordinance 2495 – First Reading - Annexation. The City Clerk read the title as follows:

ORDINANCE NO. 2495

AN ORDINANCE OF THE CITY OF APOPKA, FLORIDA, TO EXTEND ITS TERRITORIAL AND MUNICIPAL LIMITS TO ANNEX PURSUANT TO FLORIDA STATUTE 171.044 THE HERINAFTER DESCRIBED LANDS SITUATED AND BEING IN ORANGE COUNTY, FLORIDA, OWNED BY JACK V. CRAVEY AND JOYCE A. CRAVEY LOCATED AT 3815 PHILS LANE AND 3827 HIDEAWAY ROAD; PROVIDING FOR DIRECTIONS TO THE CITY CLERK, SEVERABILITY, CONFLICTS, AND AN EFFECTIVE DATE.

Mayor Kilsheimer opened the meeting to a public hearing. No one wishing to speak, he closed the public hearing.

MOTION by Commissioner Dean, and seconded by Commissioner Velazquez, to approve Ordinance No. 2495 at First Reading and carry it over for a Second Reading. Motion carried unanimously with Mayor Kilsheimer, and Commissioners Arrowsmith, Dean, Velazquez, and Ruth voting aye.

BUSINESS

1. Ratify the Certificate of Official Election Results.

City Clerk Goff said the Canvassing Board, consisting of Commissioner Dean, Commissioner Velazquez, and herself, met on April 12, 2016, at 4:00 p.m. at the Orange County Supervisor of Elections, 119 Kaley Street, Orlando, to canvass absentee ballots. She stated 36 absentee ballots were rejected due to various reasons. The Board reconvened at 7:00 p.m. to complete canvassing as the precinct results came in. The Canvassing Board met again on April 14, 2016, to conduct the manual audit and certify the official election results. She advised that Chapter 34 of the City Code of Ordinances requires that Council ratify the signed certificate of elections results. The Canvassing Board requests Council ratify the official election results as submitted.

MOTION by Commissioner Arrowsmith, and seconded by Commissioner Ruth to ratify the Certificate of Official Election Results as submitted. Motion carried unanimously with Mayor Kilsheimer, and Commissioners Arrowsmith, Dean, Velazquez, and Ruth voting aye.

2. Council

Glenn Irby, City Administrator, reported the City met today with Aero-Tel and the grant writer for CDBG grants. He advised there is an economic development grant that is available to business. The catalyst to that grant has to be the government applying for the grant up to \$1.5 million. He advised this grant is to create incentive for business to get up and running. Aero-Tel was provided the packet of information to complete and return to the City so it can be looked into further. He also discussed looking into a property trade and Aero-Tel's property came in at a much higher value. He advised there is a possibility of carving out a piece of property that Aero-Tel owns to still consider the possibility of a property trade.

Commissioner Arrowsmith suggested the value of the City's property should have an added value due to the fact of it being in the HUB zone.

Commissioner Dean stated he had been approached by a citizen regarding the need of lighting on Old Dixie Highway and asked that this be considered.

Mr. Irby advised Duke Energy has been asked for a lighting inventory for the entire city.

3. Public

Joan Whalen & Susan O'Keefe both spoke and expressed concerns regarding the use of sports fields for lacrosse. Both of their sons play lacrosse and they are having difficulty obtaining fields in Apopka, with their teams having to play home games at fields in other cities. Ms. O'Keefe said they pay to play and practice on the fields and understand they are not a recreation league, however, there are fields that are not being used and asked that these fields be considered for their use.

Ray Shackelford applauded the service and commitment of Commissioner Arrowsmith and Commissioner Ruth and the support of their families. He inquired as to the status of a splash pad for our young people and families.

Mr. Irby advised research was being conducted and information being gathered on splash pads in order to move this forward. He stated more information will be presented at a meeting in the future.

Dr. Shackelford said he was former educator and served as the former chair of a school advisory council. He asked what the cost would be to Apopka to expand the program of *Apopka Begins and Ends with "A"* to the other schools. He further inquired what the relationship was to the school improvement plan, as well as what was the interaction with the school advisory council and the PTA. He requested consideration be given to these matters.

Isadora Dean thanked the City for the report on *Apopka Begins and Ends with "A"*. She stated she wished we would focus on the whole child and said Apopka has always been very supportive of our schools. She said she wanted to see us help all schools and stated the City has Title One schools which receive more money. She thanked Commissioners Arrowsmith and Ruth for their service and said she hoped they would continue to be involved.

MAYOR'S REPORT

Mayor Kilsheimer expressed condolences from the City of Apopka to Commissioner Dean and his family on the passing of his brother this past weekend.

Mayor Kilsheimer reminded everyone the Swearing-In Ceremony for Commissioner-elect Doug Bankson and Commissioner-elect Kyle Becker will be held Tuesday, April 26, 2016, 12:00 p.m. at the Apopka Community Center.

Commissioner Arrowsmith thanked the community for their confidence and trust in his representing the whole community during his long career. He said he has been fortunate to serve with a man of highest integrity in Mayor John Land and also many fellow commissioners making up great teams over the years. He stated it was rewarding to see cranes working on the new hospital to the south and heavy equipment carving a path to the north for the extension of 429, continued expansion of industrial parks, and new residential developments. He said these teams have formed the foundation of the future for this City. He expressed disappointment in the lack of interest from the voters, but thanked those who did come out and participate in the run-off election. He thanked everyone who helped in his campaign, and in particular thanked Reide Wilson who is working on becoming an Eagle Scout for picking up over 300 of his campaign signs the night of the election. He said it was not unexpected that this administration supported his opponent. He thanked his family for their involvement and support over the past months. He stated many have said they are in their prayers and for that they remain forever grateful.

Commissioner Ruth said outside of his wife and his family, which is the greatest thing he has ever accomplished, working here he has had the privilege of washing the windows in this building to sitting in the seat on the dais. He declared every time he sat in this seat it was a privilege, stating this seat does not belong to him, it belongs to the public. He affirmed that every time he sat at the dais he took pride in being here. He affirmed to dispel any rumors, no one ever told him how to vote while sitting in this seat. He said there is not a book that tells you how to be a commissioner and after he was elected he found out that he did not know everything about being a commissioner. He stated he was one of Apopka's biggest cheerleaders, always will be, and will champion anyone who wants to move Apopka in a direction that he favors. He spoke of his coaching experience and said it was not the wins, but the losses that he acquired the most out of and was humbled by them. He stated while he was not the people's first choice, Apopka was always his choice.

ADJOURNMENT – There being no further business the meeting adjourned at 8:17 p.m.

Joseph E. Kilsheimer, Mayor

ATTEST:

Linda F. Goff, City Clerk

Backup material for agenda item:

2. Presentation on Recreation Program & Rental Fees.

David Burgoon



CITY OF APOPKA CITY COUNCIL

- CONSENT AGENDA
- PUBLIC HEARING
- SPECIAL REPORTS
- OTHER: Presentation

MEETING OF: May 4, 2016
 FROM: Recreation
 EXHIBITS: Proposal

SUBJECT: RECREATION PROGRAM & RENTAL FEE'S

REQUEST: APPROVAL OF ALL RECREATION PROGRAM & RENTAL FEE'S

SUMMARY:

The City of Apopka Code of Ordinances (Chapter 58: Parks & Recreation, Section 58-2, Rates and Charges) states in part the rates and charges for the use of recreation facilities and recreation programs shall be developed by city staff and said rates and charges shall be reviewed annually. To ensure rates and charges are reasonably related to the city's actual costs and are consistent with prevailing market rates.

In accordance with the Code of Ordinances, staff has reviewed the current fee schedule and researched the surrounding area to identify any adjustments that may be needed. As a result of this research the attached proposal presents a fee increase to the most frequent users of the facilities and establishes fees not currently in existence. The increase would align with current market rates and would also cover expenses associated with upkeep and maintenance. The attached proposal includes the current fee schedule and any recommended changes are indicated in the "proposed fee" column.

FUNDING SOURCE:

N/A

RECOMMENDATION ACTION:

Approve the proposed recreation program and rental fees.

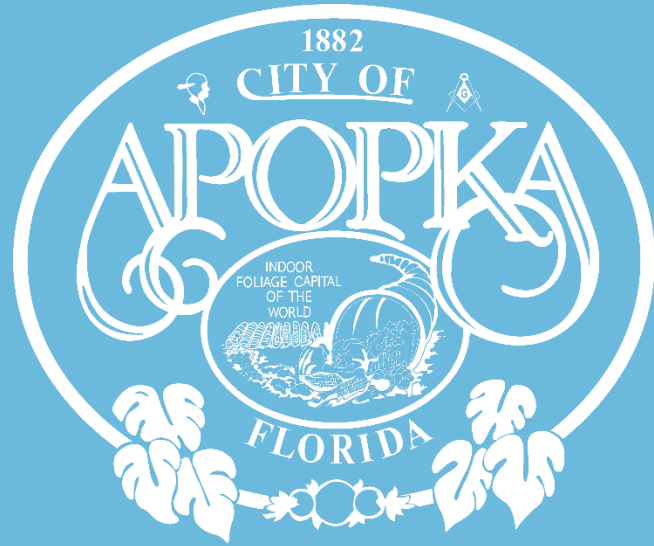
DISTRIBUTION

Mayor Kilsheimer	Finance Director	Public Services Director
Commissioners	HR Director	Recreation Director
City Administrator	IT Director	City Clerk
Community Development Director	Police Chief	Fire Chief

Recreation Department Fees

	Current Fee's			Proposed Fee's			Justification
	Resident	Non Resident	Non-Profit	Resident	Non Resident	Non-Profit	
RECREATION - Department Wide							
Tennis Before 5:00 pm	\$4.00	\$4.00		\$3.00	\$4.00		
Tennis After 5:00 pm	\$6.00	\$6.00		\$5.00	\$6.00		
Tennis Permit 1 month membership	\$20.00				\$25.00		ALL Non-Resident Rates = 20% higher than Resident
Tennis Permit 6 month membership	\$130.00			\$100.00	\$125.00		
Tennis Permit (1year membership)	\$195.00				\$235.00		
City Employee Discount	20%			50%			Increased Discount
Youth Sports Coaching Discount off Registration				50%			New Discount
Scholarship				50% / 75%			New
Cancellation Fee	\$10.00			25%			
NORTHWEST RECREATION COMPLEX							
Soccer	\$80.00	\$120.00		\$110.00	\$140.00		Combined all soccer fees into one
Soccer Application Fee	\$40.00	\$40.00					
Soccer Uniform Fee	\$20.00	\$20.00					
3 vs 3 Summer Soccer	\$60.00	\$90.00			\$75.00		
Flag Football League (NW)	\$100.00	\$140.00			\$120.00		
Teen Volleyball	\$60.00	\$85.00			\$75.00		
Adult Kickball (Per team)	\$250.00						
Adult Softball (Per Team)	\$405.00						
Field Rental Before 5:00 pm (Per Hour)	\$15.00						
Field Rental After 5:00 pm and weekends (Per Hour)	\$20.00						
Field Rental w/ 70% Apopka residents (Per Hour)	\$15.00						
Light Fee (Per Hour)	\$10.00						
Volleyball Court Rental (Per Hour)	\$15.00						
Volleyball Lights (Per Hour)	\$10.00						
SPORTS LEAGUES - NON CITY							
Football Field with Press Box/ Scoreboard/Field Paint (No Logo) (Per Day) (Games for Pop Warner, AAU, Etc..)				\$500.00			
Pop Warner (Practice Fields & Building) (Per Season)				\$3,000.00			
Logo Painted (Per Logo)				\$200.00			
Endzones Painted				\$500.00			
Light Fee (Per Hour)				\$10.00			
Little League Baseball (Per team / per season)				\$100.00			
SPECIAL EVENTS/ TOURNAMENTS							
Field Prep Fee (BB/Softball) Per field	\$15.00						
Field Prep (Modified) Fee per field	\$20.00			\$30.00			
Field Prep Fee - Soccer per field	\$40.00			\$45.00			
Field Prep Fee - Lacrosse per field	\$40.00			\$60.00			
Tournament Fees (Until 7:00pm) per field	\$150.00						
Tournament Fees (After 7:00pm) per additional field (Per Hour)	\$20.00						
Grounds crew during tournament (Per Hour)	\$20.00						
Tournament Deposit	\$250.00						
Light Fee (Per Hour)	\$10.00						
EMS (Per Hour)	\$100.00						
Extra Ranger (Per Hour)	\$25.00						
Special Event permit	\$25.00						
Off Duty Officer (Per Hour)	\$30.00						
Dumpster Fee (Per Hour)	\$130.00						
Vendor Fee Per Day	\$50.00						
5K Race in advance registration	\$15.00			\$25.00	\$35.00		Increased to cover cost
5K Race Day	\$20.00			\$30.00	\$40.00		
5K Race youth				\$10.00	\$15.00		New Fee
WILLIAMS PARK							
Summer Camp (Apopka area school) (Per Week)	Free			\$25.00			Combined all fees & added a 2nd field trip
Summer Camp (Field trip fees) (Per Week)	\$15.00						
Summer Camp Application fee per family	\$10.00						
Summer Camp (T-Shirt fee)	\$10.00						
After School Care (Per Month)	\$25.00						
Flag Football League	\$60.00	\$95.00			\$75.00		

	Resident	Non Resident	Non-Profit	Resident	Non Resident	Non-Profit	Justification
FRAN CARLTON CENTER							
Dance For Fun	\$100.00	\$140.00			\$120.00		
Summer Camp Fran Carlton (per week fee)	\$85.00	\$127.50		\$110.00	\$140.00		Combined all fee & added a 2nd field trip
Summer Camp Fran Carlton application fee	\$10.00						
Summer Camp Fran Carlton T-shirt	\$10.00						
Summer Camp Fran Carlton field trip fee per week	\$15.00						
Winter Camp Fran Carlton (Per Day)	\$20.00	\$30.00			\$25.00		
Spring Camp Weekly rate	\$85.00	\$127.50		\$110.00	\$140.00		Combined all fee & added a 2nd field trip
Spring Camp (Field trip fees) (Per Week)	\$15.00						
Spring Camp Application fee per family	\$10.00						
Senior Programs Single	\$9.00						
Senior Program Family	\$13.50						
Racquetball (Before 5:00pm per hour)	\$4.00			\$3.00	\$4.00		
Racquetball (After 5:00pm per hour)	\$6.00			\$5.00	\$6.00		
Racquetball 1 month membership	\$20.00				\$25.00		
Racquetball 6 month membership	\$130.00			\$100.00	\$125.00		
Racquetball 1year membership	\$195.00				\$235.00		
Senior Luncheon (Must bring covered dish)	\$1.00						
Senior Day Trip per person	\$6.00						
Fran Carlton Facility rental (Per Hour)	\$60.00	\$90.00	45R / \$67N		\$75.00	\$55.00	
Fran Carlton Facility rental (refundable deposit)	\$200.00						
FACILITY RENTALS							
Small Pavilion Rental (4Hour block)	\$30.00	\$45.00			\$40.00	\$25.00	Non-Profit rate = Resident rate -15% round to nearest \$5
Medium Pavilion (4Hour block)	\$60.00	\$90.00			\$75.00	\$50.00	
Large Pavilion (4 Hour block)	\$75.00	\$112.00			\$90.00	\$65.00	
Apopka Community Center				\$65.00	\$95.00	\$55.00	
Fran Carlton Center - Full Building	\$60.00	\$90.00	\$45.00	\$65.00	\$95.00	\$55.00	
Fran Carlton Center - Half Building				\$45.00	\$65.00	\$35.00	
Alonzo Williams				\$30.00	\$40.00	\$25.00	
Amphitheater				\$2,500.00		\$1,600.00	



RECREATION PROGRAM & RENTAL FEES



About the Park



NORTHWEST RECREATION COMPLEX

The Northwest Recreation Complex is located at 3710 Jason Dwelley Parkway. The complex has over 180 acres of land including: 8 full sized soccer fields, 2 modified soccer fields, 2 multi-purpose fields, 3 Football practice fields, 1 stadium football field, 7 baseball fields, 5 softball fields, 4 tennis courts, 3 basketball courts, 4 sand volleyball courts and 5 pavilions along with a .9 mile walking trail.

These facilities are available for rent on an hourly or daily basis for tournaments or special events.

Currently the complex hosts approximately 65 sports tournaments per year.



THEY CALL NORTHWEST HOME



Pop Warner Football Fields & Little League Baseball Fields

The Northwest Recreation Complex is home to the Apopka Little League and Apopka Pop Warner programs along with city run programs such as youth soccer, flag football and adult softball & kickball. The complex is also used as the home for several organized teams and leagues for practices and games along with fields available for pick-up games to the general public.

OUTSIDE ORGANIZATIONS ANNUAL REVENUE



Soccer

Apopka High Girls Soccer \$435
Lake County Soccer Club \$1,235
Alex Wellman \$1,295
Triple Threat Soccer Club \$1,500
Apopka FC Soccer Club \$2,820
FC America Soccer Club \$5,535
Guillermo Serrano Soccer League \$14,610

Lacrosse

Apopka High school Lacrosse \$2,470
Apopka Lacrosse Club \$2,250

Baseball

Orlando Baseball Academy \$305
First Strike 11U \$415
CF Lions \$575
Longhorns \$640
First Strike 10U \$710
Apopka Lightning 11U \$720
First Strike 9U \$770
Apopka Sharks 9U \$890
Apopka Lightning 14U \$1,090
Apopka Lightning 9U \$1,200
Running Rebels \$10,000





Apopka Little League has 2 seasons (Spring and Fall)

Each season lasts approximately 12 weeks.

League uses 6 Fields (I,J,K,L,H & F)

Other fields are also used for practices depending on availability.

Field prep includes dragging, dugouts, filling holes, mound repair & chalking.

Weekly care of the fields include painting foul lines & bases as well as edging, mowing, weeding, watering, infield care, changing out bases and additional care to bullpens and batting cages.

League uses the building as their home office.

LITTLE LEAGUE BASEBALL

Annual Field Maintenance Costs



Maintenance Cost	Rate	Cost	Total
Little League Building & Concession Electric costs		\$4500	\$4,500
Bases & Home Plates Once a Year Per Field	6 Fields	\$600 per Field	\$3,600
Paint Foul Lines - 12 weeks x 2 Seasons x 3 pales Per week	72 Pales	\$44 per Pail	\$3,168
Chalk - Per Week 12 Bags x 12 weeks x 2 Seasons	288 Bags	\$5 per Bag	\$1,440
Clay - 1 Load Per Field x 6 fields x 2 season	12 Loads	\$525 per Load	\$6,300
Conditioner - 40 bags Per Field x 6 fields Per Season x 2	480 Bags	\$8 per Bag	\$3,840
Warning Track - Orange Coquina Shell 4 Loads Per Year	4 Loads	\$900 per Load	\$3,600
Irrigation Supplies - Per Season	2 Times	\$500	\$1,000
Fertilizer, Herbicide, Insect, Disease Control	6.5 Acres	\$200 Acre	\$1,300
Field Maintenance Costs Total			\$28,140



LITTLE LEAGUE BASEBALL

Annual Labor Costs



Field Care - Labor Costs	Hours	Avg. Rate per hr.	Cost Per
Mowing - 2 times A Week - 12 hr x 24 weeks	288	\$15	\$4,320
Spinning Fields Daily - 22 hr. Per Week x 24 weeks	528	\$15	\$7,920
Chalking - 10 hr Per Week x 24 weeks	240	\$15	\$3,600
Foul Lines - 3 hr Per Week x 24 weeks	72	\$15	\$1,080
Slicing Twice Per Season	12	\$15	\$ 180
Coring & Vacuuming	24	\$15	\$ 360
Clay & Warning Track	240	\$15	\$3,600
Irrigation Repairs	60	\$15	\$ 900
Edging, Weeding, Details 8 hours Per Week x 24 weeks	192	\$15	\$2,880
Labor Costs			\$24,248
Field Maintenance Costs			\$28,748
Total			\$52,996





Apopka Pop Warner football season is from August - November

Each season lasts approximately 16–18 weeks depending on playoff berths.

League uses Pads 13,14 & 15 which are designated for practice and Pad 16 which is for games.

League uses the garage for storing equipment and uniforms.

League also uses the building for concessions and office space.

Weekly care of the fields include painting lines and team logo as well as edging, weeding, mowing and watering.

POP WARNER FOOTBALL

Annual Field Maintenance Costs



Actual Cost	Rate	Cost	Total
Pop Warner Building / Concession Electric	Per budget		\$ 4,000
Football Field Lights/ Electric	Per budget		\$ 2,000
Paint Practice Fields - 1 pail (White paint) per field x 3 fields x 12 weeks	36 pales	\$44	\$ 1,584
Paint Game Field - 4 pails (white paint) x 6 games	24 pales	\$44	\$ 1,056
Paint Game Field - 1 pail (Blue paint) x 6 weeks	6 pales	\$48	\$ 288
Paint Logo - 1 pail White paint & 1 pail of Blue paint x 3 a season	6 pales	\$46	\$ 276
Replace sod	6 pallets	\$120	\$ 720
Top Dressing			\$ 2,500
Fertilizer, Herbicide, Insect, Disease Control			\$ 850
Field Maintenance Costs Total			\$ 13,226



POP WARNER FOOTBALL

Annual Labor Costs



Field Care - Labor Cost	Hours	Avg Rate per hr.	Cost Per
Mowing Practice Fields (3) - 2 times A Week x 2 hrs x 12 weeks	48	\$ 15	\$ 720
Mowing game Field - 2 times A Week x 1 hrs x 12 weeks	24	\$ 15	\$ 360
Weeding game Field - 1 hrs x 12 weeks	12	\$ 15	\$ 180
Paint Practice Fields - 4 hrs wk x 12 weeks	48	\$ 15	\$ 720
Paint Game Fields - 2 hrs wk x 6 weeks	12	\$ 15	\$ 180
Game Field Set-up - Beginning of season 8 hrs x 3 staff	24	\$ 15	\$ 360
Total Labor Cost			\$ 2,520
		Total Maintenance Cost	\$ 13,274
		Total Labor Cost	\$ 2,520
		Total	\$ 15,727



HOW OTHER CITIES COMPARE

ANNUAL FOOTBALL FEES

League	Agency	Fees	Avg. Yearly Fee
Apopka Pop Warner	City of Apopka	No Charge	-
Clermont Pop Warner	School	\$1500 per month + paint & lights	\$ 5,500
E. Orange FYFCL	OCPS	\$15 hr field + \$15 hr staff	\$ 6,800
Lake Wales Pop Warner	City of Lake Wales	\$1000 per season + paint & lights	\$ 4,500
Mt. Dora Pop Warner	City of Mt. Dora	Games only	\$ 2,000
Ocoee Pop Warner	City of Ocoee	No Charge	\$ -
Oviedo Pop Warner	SCPS	\$6000 per season + \$100 per Sat	\$ 6,500
Pine Hills Pop Warner	County	\$1000 per games only	\$ 4,000
S. Orlando Pop Warner	OCPR / Boone HS	\$15 hr field + \$16 hr Utilities + \$1500 per Sat	\$ 8,000
Timber Creek Pop Warner	Timber Creek HS	\$6000 per season + \$100 per Sat	\$ 6,500
Wekiva Pop Warner	OCPS	\$600 per game + 30 per hr for practices	\$ 6,000
West Orange Pop Warner	City of Winter Garden	No Charge	\$



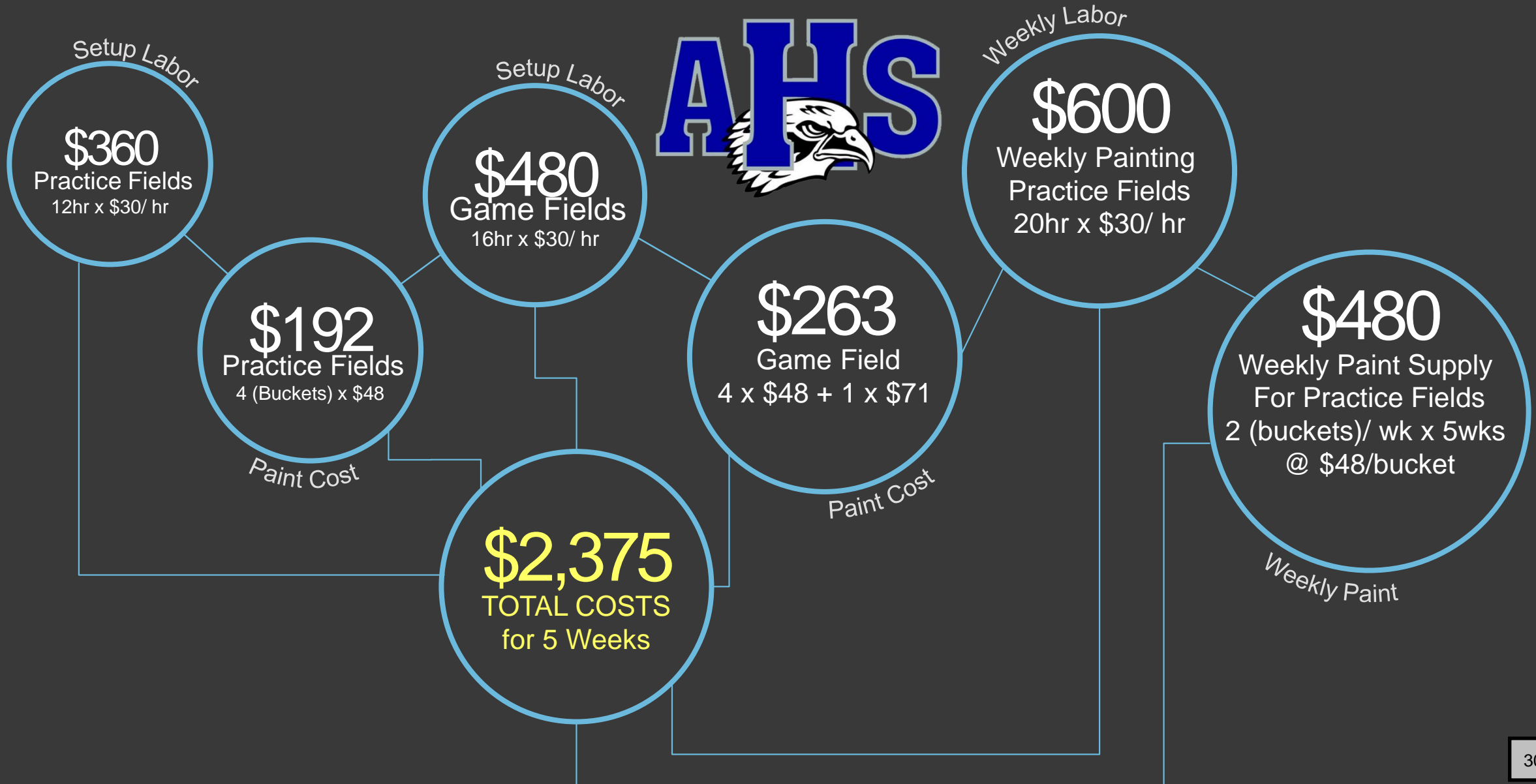
HOW OTHER CITIES COMPARE

ANNUAL BASEBALL FEES

League	Agency	Fees	Avg. Yearly Fee
Apopka Little League	City of Apopka	No Charge	-
Clermont Little League	City of Clermont	\$125 per team	\$ 12,000.00
Deland Little League	Deland	No fees, the league manages the fields (mow, drag, line, etc.)	\$ -
Dr. Phillips Little League	Orange County	\$100 per team , \$15 per lined field, \$3 per hr. for lights	\$ 13,000.00
East Orange Babe Ruth	Orange County	\$100 per team + \$25 every time concession is open	\$ 12,000.00
Longwood Babe Ruth	City of Longwood	\$120 per team per season	\$ 8,000.00
Oviedo Babe Ruth	City of Oviedo	\$15 res / \$20 non res per child per season	\$ 11,500.00
S. Orlando Little League	Orange County	\$100 per team , \$15 per lined field, \$3 per hr. for lights	\$ 9,000.00
Union Park	Orange County	\$100 per team , \$15 per lined field, \$3 per hr. for lights	\$ 8,000.00
Windermere Little League	Orange County	\$100 per team , \$15 per lined field, \$3 per hr. for lights	\$ 10,000.00
Winter Garden Little League	Winter Garden	No fees, the league manages the fields (mow, drag, line, etc.)	\$ -
Winter Springs Babe Ruth	City of Winter Springs		\$ 12,625



APOPKA HIGH SCHOOL FOOTBALL COSTS



PROPOSED FEES



APOPKA LITTLE LEAGUE

\$200 for use of office per year

First Season: \$50per team (Estimate \$1,750)

Every season thereafter: \$100 per team per season
(Estimate \$3,500 per season / \$7,000 per year)



APOPKA HIGH SCHOOL FOOTBALL

Current hourly rate:
\$20 per hour per field
\$10.00 per hour for lights
\$40.00 per field for paint
(Estimate \$1,500)



APOPKA POP WARNER

First Season: \$1,500 for building and practice fields
\$250 per game day
\$25.each time concession stand is in use.
(First Season Estimate \$2,700)

Every season thereafter: \$3,000 for building and
practice fields
\$500 per game day
\$25 each time concession stand is in use
(Est. \$5,200 per year)



Backup material for agenda item:

3. Splash Pad Update

Glenn A. Irby



CITY OF APOPKA CITY COUNCIL

- CONSENT AGENDA
- PUBLIC HEARING
- SPECIAL REPORTS
- OTHER: Presentation

MEETING OF: May 04, 2016
 FROM: Administration
 EXHIBITS: Splash Pads: Bithlo, Clermont,
 Lake Mary, Sanford, Tavares, Winter Garden

SUBJECT: SPLASH PAD

REQUEST: INFORMATIONAL UPDATE

SUMMARY:

Staff has identified 12 municipal governments in Central Florida that own and operate splash pads. Staff recently surveyed these governments seeking to determine dimensions, bathing load, cost of construction and annual operating costs. Not surprisingly, some of the 12 governments could not readily supply all information we asked for. At the same time, City of Apopka staff believes we have gathered enough information to make an informed presentation. The following is applicable:

➤ Average dimension (8 reporting)	3,079 sq. ft.
➤ Average maximum bathing load (11 reporting)	57
➤ Average cost to construct	\$500,000
➤ Average cost per sq. ft. to construct	\$124
➤ Average annual maintenance cost	\$14,200
➤ Entry fees per person	\$0 - \$3
➤ Average annual attendance	17,100

Here in Apopka, a restroom facility that would double as a bathhouse/changing area would be needed and would add to the overall cost. An adequately sized restroom facility would add approximately \$100,000 to the project. Some entities rent their splash-pad facilities for private parties after normal operating times. If Apopka were to choose to do this, lights also would also become necessary and would be an additional cost. Other considerations at additional expenses: an ADA approved parking lot and sidewalk from the lot to the splash pad [est. \$40,000], pavilions for picnics and parties as well as benches around the splash pad on which parents can sit while watching their children.

The governmental entities we interviewed shed light on issues and problems they have had. We also asked if they were to construct another pad, what they would do differently? Staff has this information and will refer to such once design begins.

Apopka has for two years held an amount of \$250,000 in its budget for construction of a splash pad. Using the costs shared by other governmental entities interviewed, the city could likely construct a 2,016 sq. ft. pad. This space would allow a bathing load of approximately 38 people, again using data compiled during this research. In comparison, this size is small compared to the average above (approximately 35% smaller). Costs will also vary depending on amenities added or not considered. Also please note: Splash pad fixtures that move as they spray water add to the cost of construction and annual maintenance.

FUNDING SOURCE:

N/A – there is currently \$250,000 in the annual operating budget of the city to design and construct a Splash Pad.

RECOMMENDATION ACTION:

This topic is presented without a recommendation for discussion by the council on how it wishes to proceed. If the council wishes to proceed, staff believe the most centralized location for a Splash Pad is Edwards’ field east of Kit Land Nelson Park.

DISTRIBUTION

Mayor Kilsheimer	Finance Director	Public Services Director
Commissioners	HR Director	Recreation Director
City Administrator	IT Director	City Clerk
Community Development Director	Police Chief	Fire Chief

Orange County Bithlo Park



Clermont



Lake Mary



Sanford



Tavares



Winter Garden



Backup material for agenda item:

1. Authorization to engage in negotiations with an Architectural and Engineering Firm to provide design plans for a new Fire Station.



CITY OF APOPKA CITY COUNCIL

- CONSENT AGENDA
- PUBLIC HEARING
- SPECIAL REPORTS
- OTHER:

MEETING OF: May 4, 2016
 FROM: Fire Department
 EXHIBITS: Ranking

SUBJECT: ARCHITECTURAL AND ENGINEERING CONSULTING SERVICES FOR A FIRE STATION [RFQ 2016-06].

REQUEST: APPROVE THE RANKING OF THE TOP THREE FIRMS AND DIRECT STAFF TO NEGOTIATE A CONTRACT USING THE CCNA PROCESS, WHICH WILL BE BROUGHT BACK BEFORE THE CITY COUNCIL AT A LATER DATE FOR APPROVAL.

SUMMARY:

The 2015-2016 FY budget included the request for an additional fire station, which was approved by City Council. On March 29, 2016, the City received qualifications from interested Architectural and Engineering firms for the purpose of providing design plans and construction documents for the new station. An Evaluation Committee consisting of the City Administrator, the Assistant Public Services Director and the Deputy Fire Chief reviewed the qualifications and ranked the top three firms as follows:

1. Lunz Prebor Fowler Architects, Inc.
2. CPH, Inc.
3. Bentley Architects and Engineers, Inc.

Staff is requesting authorization to negotiate a contract with Lunz Prebor Fowler Architects, using the Consultants Competitive Negotiations Act (CCNA). If an agreement cannot be negotiated, staff would then attempt to negotiate with the second firm and so on until an acceptable contract can be reached. At a later date the negotiated contract will be presented to City Council for final approval and will include a request to award continuing service contracts to the remainder two companies.

FUNDING SOURCE:

N/A

RECOMMENDATION ACTION:

Approve the ranking of the three firms and direct staff to negotiate a contract using the CCNA process, which will be advertised and brought back before City Council for final approval.

DISTRIBUTION

Mayor Kilsheimer	Finance Director	Public Services Director
Commissioners	HR Director	Recreation Director
City Administrator	IT Director	City Clerk
Community Development Director	Police Chief	Fire Chief

RFQ 2016-06 Request for Qualifications
Architectural and Engineering Consulting Services
Evaluated Scores for Ranking

Firms	Glenn Irby	Kevin Burgess	Ray Thompson	Totals	Ranking
Lunz Prebor Fowler Architects, Inc.	100	91	88	279	1st
CPH, Inc.	90	90	89	269	2nd
Bentley Architects and Engineers, Inc.	85	89	90	264	3rd

Backup material for agenda item:

2. Authorize the Vehicle for Hire Permit Application for T-Max Transportation Services, LLC – Maxo Angervil



CITY OF APOPKA CITY COUNCIL

- CONSENT AGENDA
- PUBLIC HEARING
- SPECIAL REPORTS
- OTHER:

MEETING OF: May 4, 2016
FROM: Community Development
EXHIBITS: Application

SUBJECT: VEHICLE FOR HIRE PERMIT – T-MAX TRANSPORTATION SERVICES, LLC

REQUEST: AUTHORIZE ISSUANCE OF A VEHICLE FOR HIRE PERMIT TO T-MAX TRANSPORTATION SERVICES, LLC OWNED BY MAXO ANGERVIL

SUMMARY:

Maxo Angervil, owner of T-Max Transportation Services, LLC, is requesting approval to operate a 6-passenger Range Rover as an Uber driver.

The application has been reviewed and approved by the Police, Fire, Community Development Department and Risk Management. The applicant has also provided proof of liability insurance, submitted to and passed a background check, and provided a hold harmless agreement. If approved the permit would be valid for one-year.

FUNDING SOURCE

N/A

RECOMMENDATION ACTION:

Authorize issuance of a Vehicle for Hire permit to T-Max Transportation Services, LLC, owned by Maxo Angervil.

DISTRIBUTION

Mayor Kilsheimer
Commissioners
City Administrator
Community Development Director

Finance Director
HR Director
IT Director
Police Chief

Public Services Director
Recreation Director
City Clerk
Fire Chief



Community Development Department
 120 East Main Street
 Apopka, Florida 32703
 Phone: 407-703-1712
 communitydevelopment@apopka.net

VEHICLE FOR HIRE PERMIT APPLICATION

FILING THIS APPLICATION AND REMITTING THE APPLICATION AND VEHICLE FOR HIRE FEE(S) FOR A CITY VEHICLE FOR HIRE PERMIT DOES NOT ALLOW THE APPLICANT TO OPERATE OR ENGAGE IN ANY TYPE OF BUSINESS, OCCUPATION OR PROFESSION UNTIL A VEHICLE FOR HIRE PERMIT IS ISSUED TO THE APPLICANT. NOTE: THE \$10.00 NON-REFUNDABLE APPLICATION FEE IS IN ADDITION TO THE BUSINESS TAX FEE(S).

Business Information	Owner Information (If corporation, provide corporate officer information)
Name: <u>T-MAX TRANSPORTATION SERVICES LLC</u>	Name: <u>MAXO ANGERVIL</u>
Address: <u>732 HAVEN OAK CT</u>	Address: <u>732 HAVEN OAK CT</u>
Shopping Center:	City/State/Zip: <u>APOPKA FL 32703</u>
City/State/Zip: <u>APOPKA FL 32703</u>	Phone: [REDACTED]
Phone: [REDACTED]	Email Address: [REDACTED]
Mailing Address (If different than above)	
Street:	
City/State/Zip	

List of Vehicles to be used:

Make: <u>LAND ROVER</u>	Model: <u>RANGE ROVER</u>	Tag #: [REDACTED]	Color: <u>BLUE</u>
Make: _____	Model: _____	Tag #: _____	Color: _____
Make: _____	Model: _____	Tag #: _____	Color: _____

Have you ever been convicted of any felony, misdemeanor, or violation of any municipal ordinance? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
If yes, please explain:		
Name/Address/Phone Number of two (2) reliable character/business references:		
Name: <u>RIGALT COLIN</u>	Address: <u>6220 South Orange Blossom</u>	Phone No.: <u>407- [REDACTED]</u>
Name: <u>JOAB ANGERVIL</u>	Address: <u>3273 Rolling Hill APOPKA</u>	Phone No.: <u>407- [REDACTED]</u>
Federal Tax ID Number (FEI#):	OR	Social Security #: [REDACTED]
Fictitious Name Registration #:		Corporate Doc #: [REDACTED]

Department	Approved	Denied	Date	Comments:
CD - Zoning:	<u>DBM</u>		<u>4/20/14</u>	
Fire:	<u>BB</u>		<u>4/20/16</u>	
Police:	<u>[Signature]</u>		<u>2/14/02 16</u>	
Risk Management:	<u>KF</u>		<u>4/20/14</u>	
City Council:				

Application Fee: \$10.00 Date Paid: _____ Date Issued: _____ Issued by: _____
 Bus Tax Subtotal: \$ _____ Total Paid: \$ _____ Cash Credit/Debit: Check #: _____



Community Development Dept.
 120 East Main Street
 Apopka, Florida 32703
 Phone: 407-703-1712
 communitydevelopment@apopka.net

BUSINESS TAX RECEIPT APPLICATION

Page 1 of 2

FILING THIS APPLICATION AND REMITTING THE APPLICATION AND BUSINESS TAX FEE(S) FOR A CITY BUSINESS TAX RECEIPT DOES NOT ALLOW THE APPLICANT TO OPERATE OR ENGAGE IN ANY TYPE OF BUSINESS, OCCUPATION OR PROFESSION UNTIL A BUSINESS TAX RECEIPT IS ISSUED TO THE APPLICANT. **NOTE: THE \$10.00 NON-REFUNDABLE APPLICATION FEE IS IN ADDITION TO THE BUSINESS TAX FEE(S).**

Business Information	Owner Information (If corporation, provide corporate officer information)
Name: TMAX TRANSPORTATION SERVICES LLC	Name: MAXO ANGERVIL
Address: 732 HAVEN OAK CT	Address: 732 HAVEN OAK CT
Shopping Center:	City/State/Zip: APOPKA FL, 32703
City/State/Zip: APOPKA FL, 32703	Phone: [REDACTED]
Phone: [REDACTED]	Email Address: [REDACTED]
Mailing Address (If different than above)	
Street:	
City/State/Zip	

Business Description (In Detail):

Federal Tax ID Number (FEI #): _____	OR Social Security Number: [REDACTED]
Fictitious Name Registration #: _____ (Attach Copy)	OR Exemption Status: _____ (Licensed Professional, First & Last Name Used, Incorporated, Attorney)
Regulatory License/Certification: _____	Corporate Doc: _____

CERTIFICATION: I certify that all the information contained herein is true and correct to the best of my knowledge and belief. If any portion is found to be false or misrepresented, such fact may be just cause for immediate revocation of any business tax receipt(s) issued to me. I acknowledge that the issuance of this business tax receipt is contingent upon complying with the building and fire requirements of the City. Inspections will be performed and should deficiencies be found that are in conflict with required codes, I understand that the City will **not** issue the business tax receipt until I (or the owner of the building if leased) make the required corrections. I understand that should corrections be necessary, I am **not** permitted to operate this business until those corrections have been made and all applicable fees have been paid. It is further understood that I must FULLY comply with the Codes of the City of Apopka.

I understand that an Orange County business tax receipt must be obtained after the City business tax receipt is issued.

I further understand that it is the applicant's responsibility to secure the business tax receipt(s) prior to conducting business in the City of Apopka.

Applicant Info (If different than owner info)	<i>I have read the foregoing document and the facts stated in it are true.</i>
Name:	Applicant's Signature: Date Submitted: 04-28-16
Address:	
City/State/Zip:	
Phone: Fax:	
Email Address:	

BUSINESS TAX RECEIPT APPLICATION

Page 2 of 2

PLANNING & ZONING DIVISION

Date Received: 4/21/16	Date Approved: 4/21/16	Approved By: Kyle Pullen
Telephone and/or Mobile Business Only: Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>	Zoning Est.: R-1	
Legal Description: 10-21-28-1315-00-040		
Comprehensive Plan (Land Use)		
Comments: Home for office use only		

Full Fiscal Year Fee:\$ _____ Half Year Fee: \$ _____ Transfer Fee:\$ _____

Classification Code	Bus Tax Fee	Other Fee	Penalty	Total	Bus Tax Number

Notes: _____

Application Fee: \$10.00 Date Paid: _____ Date Issued: _____ Issued by: _____
Bus Tax Subtotal: \$ _____ Total Paid: \$ _____ Cash Credit/Debit: Check #: _____

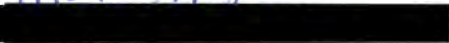
INDEMNITY AND HOLD HARMLESS AGREEMENT

THIS AGREEMENT made and entered into this 8th day of April, 2016, by and between, Maxo Augervil hereinafter referred to as "Business Owner" and the CITY OF APOPKA, FLORIDA, hereinafter referred to as "The City."

WHEREAS, Maxo Augervil hereby agrees to indemnify and hold harmless the City and all of the City's officers, representatives, employees, and/or agents arising out of, or resulting from any damages, injuries, or illness from any and all liability, including any injury to or death of any person, or damage to or destruction of property in or about the premises; defense costs, including attorney's fees and all other fees incidental to defense; loss or damage the City may suffer as a result of claims, demands, costs or judgments against it arising from participation in particular; held on the 8th day of April, 2016, through the 30th day of September 2016.


Signature of Applicant

STATE OF FLORIDA
COUNTY OF ORANGE

The foregoing instrument was acknowledged before me this 8th day of April, 2016, by Maxo Augervil and ~~who is personally known to me or who has produced~~  as identification and who did (did not) take an oath.


Notary Public

Seal:



JEANNE M. GREEN
MY COMMISSION # FF 178715
EXPIRES: November 28, 2018
Bonded Thru Budget Notary Services

Backup material for agenda item:

3. Authorize the Vehicle for Hire Permit Application for U-First Transportation – Ronald Joseph



CITY OF APOPKA CITY COUNCIL

- CONSENT AGENDA
- PUBLIC HEARING
- SPECIAL REPORTS
- OTHER:

MEETING OF: May 4, 2016
 FROM: Community Development
 EXHIBITS: Application

SUBJECT: VEHICLE FOR HIRE PERMIT – U-FIRST TRANSPORTATION

REQUEST: AUTHORIZE ISSUANCE OF A VEHICLE FOR HIRE PERMIT TO U-FIRST TRANSPORTATION OWNED BY RONALD JOSEPH

SUMMARY:

Ronald Joseph, owner of U-First Transportation, is requesting approval to operate a 6-passenger Cadillac Escalade as an Uber driver.

The application has been reviewed and approved by the Police, Fire, Community Development Department and Risk Management. The applicant has also provided proof of liability insurance, submitted to and passed a background check, and provided a hold harmless agreement. If approved the permit would be valid for one-year.

FUNDING SOURCE:

N/A

RECOMMENDATION ACTION:

Authorize issuance of a Vehicle for Hire permit to U-First Transportation, owned by Ronald Joseph.

DISTRIBUTION

Mayor Kilsheimer
 Commissioners
 City Administrator
 Community Development Director

Finance Director
 HR Director
 IT Director
 Police Chief

Public Services Director
 Recreation Director
 City Clerk
 Fire Chief



Community Development Department
 120 East Main Street
 Apopka, Florida 32703
 Phone: 407-703-1712
 communitydevelopment@apopka.net

VEHICLE FOR HIRE PERMIT APPLICATION

FILING THIS APPLICATION AND REMITTING THE APPLICATION AND VEHICLE FOR HIRE FEE(S) FOR A CITY VEHICLE FOR HIRE PERMIT DOES NOT ALLOW THE APPLICANT TO OPERATE OR ENGAGE IN ANY TYPE OF BUSINESS, OCCUPATION OR PROFESSION UNTIL A VEHICLE FOR HIRE PERMIT IS ISSUED TO THE APPLICANT. NOTE: THE \$10.00 NON-REFUNDABLE APPLICATION FEE IS IN ADDITION TO THE BUSINESS TAX FEE(S).

Business Information	Owner Information (If corporation, provide corporate officer information)
Name: <u>U-First Transportation</u>	Name: <u>Ronald Joseph</u>
Address: <u>1745 W. Marshall Lake Dr.</u>	Address: <u>1745 W. Marshall Lake Dr.</u>
Shopping Center:	City/State/Zip: <u>APOPKA FL 32703</u>
City/State/Zip: <u>APOPKA FL 32703</u>	Phone: [REDACTED] Fax:
Phone: [REDACTED] Fax:	Email Address: [REDACTED]
Mailing Address (If different than above)	
Street:	
City/State/Zip	

List of Vehicles to be used:

Make: <u>Cadillac</u>	Model: <u>Escalade</u>	Tag #: [REDACTED]	Color: <u>Black</u>
Make: _____	Model: _____	Tag #: _____	Color: _____
Make: _____	Model: _____	Tag #: _____	Color: _____

Have you ever been convicted of any felony, misdemeanor, or violation of any municipal ordinance? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
If yes, please explain:		
Name/Address/Phone Number of two (2) reliable character/business references:		
Name: <u>Steve Gabriel</u>	Address: <u>15344 Glen Haven Element FL 32714</u>	Phone No.: [REDACTED]
Name: <u>Al Maxime</u>	Address: <u>305 Highland Ave Apopka</u>	Phone No.: [REDACTED]
Federal Tax ID Number (FEI#):	OR	Social Security #:
Fictitious Name Registration #:		Corporate Doc #:

Department	Approved	Denied	Date	Comments:
CD - Zoning:	<u>[Signature]</u>		<u>4-27-10</u>	
Fire:	<u>[Signature]</u>		<u>4/27/10</u>	
Police:	<u>[Signature]</u>		<u>4-27-10</u>	
Risk Management:	<u>[Signature]</u>		<u>4-27-10</u>	
City Council:				

Application Fee: \$10.00 Date Paid: _____ Date Issued: _____ Issued by: _____
 Bus Tax Subtotal: \$ _____ Total Paid: \$ _____ Cash Credit/Debit: Check #: _____



Community Development Dept.
 120 East Main Street
 Apopka, Florida 32703
 Phone: 407-703-1712
 communitydevelopment@apopka.net

BUSINESS TAX RECEIPT APPLICATION

Page 1 of 2

FILING THIS APPLICATION AND REMITTING THE APPLICATION AND BUSINESS TAX FEE(S) FOR A CITY BUSINESS TAX RECEIPT DOES NOT ALLOW THE APPLICANT TO OPERATE OR ENGAGE IN ANY TYPE OF BUSINESS, OCCUPATION OR PROFESSION UNTIL A BUSINESS TAX RECEIPT IS ISSUED TO THE APPLICANT. **NOTE:** THE \$10.00 NON-REFUNDABLE APPLICATION FEE IS IN ADDITION TO THE BUSINESS TAX FEE(S).

Business Information	Owner Information (If corporation, provide corporate officer information)
Name:	Name: <i>Ronald Joseph</i>
Address: <i>1745 W. Marshall Lake Dr.</i>	Address: <i>1745 W. Marshall Lake Dr.</i>
Shopping Center:	City/State/Zip: <i>APOPKA FL 32703</i>
City/State/Zip: <i>APOPKA FL 32703</i>	Phone: [REDACTED]
Phone: [REDACTED] Fax: [REDACTED]	Email Address: [REDACTED]
Mailing Address (If different than above)	
Street:	
City/State/Zip	

Business Description (In Detail):

Federal Tax ID Number (FEI #): *61-2060367* **OR** Social Security Number: _____

Fictitious Name Registration #: _____ **OR** Exemption Status: _____
(Attach Copy) (Licensed Professional, First & Last Name Used, Incorporated, Attorney)

Regulatory License/Certification: _____ Corporate Doc: _____

CERTIFICATION: I certify that all the information contained herein is true and correct to the best of my knowledge and belief. If any portion is found to be false or misrepresented, such fact may be just cause for immediate revocation of any business tax receipt(s) issued to me. I acknowledge that the issuance of this business tax receipt is contingent upon complying with the building and fire requirements of the City. Inspections will be performed and should deficiencies be found that are in conflict with required codes, I understand that the City will **not** issue the business tax receipt until I (or the owner of the building if leased) make the required corrections. I understand that should corrections be necessary, I am **not** permitted to operate this business until those corrections have been made and all applicable fees have been paid. It is further understood that I must FULLY comply with the Codes of the City of Apopka.

I understand that an Orange County business tax receipt must be obtained after the City business tax receipt is issued.

I further understand that it is the applicant's responsibility to secure the business tax receipt(s) prior to conducting business in the City of Apopka.

Applicant Info (If different than owner info)	<i>I have read the foregoing document and the facts stated in it are true.</i>
Name:	<i>Ronald Joseph</i>
Address:	
City/State/Zip:	
Phone: Fax:	
Email Address:	Applicant's Signature: _____ Date Submitted: <i>04/03/2016</i>

BUSINESS TAX RECEIPT APPLICATION

Page 2 of 2

PLANNING & ZONING DIVISION

Date Received: 4/26/16	Date Approved: 4/26/16	Approved By: <i>[Signature]</i>
Telephone and/or Mobile Business Only: Yes:	No:	Zoning Est.: R-3
Legal Description: 08-21-28-4424-00-410		
Comprehensive Plan (Land Use): Res. Low		
Comments:		

Full Fiscal Year Fee:\$ _____ Half Year Fee: \$ _____ Transfer Fee:\$ _____

Classification Code	Bus Tax Fee	Other Fee	Penalty	Total	Bus Tax Number

Notes: _____

Application Fee: \$10.00 Date Paid: _____ Date Issued: _____ Issued by: _____
Bus Tax Subtotal: \$ _____ Total Paid: \$ _____ Cash Credit/Debit: Check #: _____

INDEMNITY AND HOLD HARMLESS AGREEMENT

THIS AGREEMENT made and entered into this 13th day of April, 2016, by and between, Ronald Joseph hereinafter referred to as "Business Owner" and the CITY OF APOPKA, FLORIDA, hereinafter referred to as "The City."

WHEREAS, Ronald Joseph hereby agrees to indemnify and hold harmless the City and all of the City's officers, representatives, employees, and/or agents arising out of, or resulting from any damages, injuries, or illness from any and all liability, including any injury to or death of any person, or damage to or destruction of property in or about the premises; defense costs, including attorney's fees and all other fees incidental to defense; loss or damage the City may suffer as a result of claims, demands, costs or judgments against it arising from participation in particular; held on the 13th day of April, 2016, through the 13th day of September 2017.

Ronald Joseph
Signature of Applicant

STATE OF FLORIDA
COUNTY OF ORANGE

The foregoing instrument was acknowledged before me this 13th day of April, 2016, by Ronald Joseph and ~~who is personally known to me~~ or who has produced FDL as identification and who did (did not) take an oath.

Jeanne M. Green
Notary Public

Seal:



JEANNE M. GREEN
MY COMMISSION # FF 178715
EXPIRES: November 28, 2018
Bonded Thru Budget Notary Services

Backup material for agenda item:

4. Authorize the Capital Facility Fees Payment Agreement for Ambergate Townhomes.



CITY OF APOPKA CITY COUNCIL

CONSENT AGENDA
 PUBLIC HEARING
 SPECIAL REPORTS
 OTHER:

MEETING OF: May 4, 2016
FROM: Community Development
EXHIBITS: Vicinity Map
Agreement

SUBJECT: AMBERGATE TOWNHOMES

REQUEST: AUTHORIZE THE MAYOR OR HIS DESIGNEE TO EXECUTE THE CAPITAL FACILITY FEES PAYMENT AGREEMENT.

SUMMARY:

The City's standard Capital Facility Fees Payment Agreement has been prepared for Ambergate Townhomes, located in unincorporated Orange County, on the east side of South Sheeler Avenue at the intersection of South Sheeler Avenue and East 10th Street.

FUNDING SOURCE:

N/A

RECOMMENDATION ACTION:

Authorize the Mayor or his designee to execute the Capital Facility Fees Payment Agreement for Ambergate Townhomes.

DISTRIBUTION

Mayor Kilsheimer
Commissioners
City Administrator
Community Development Director

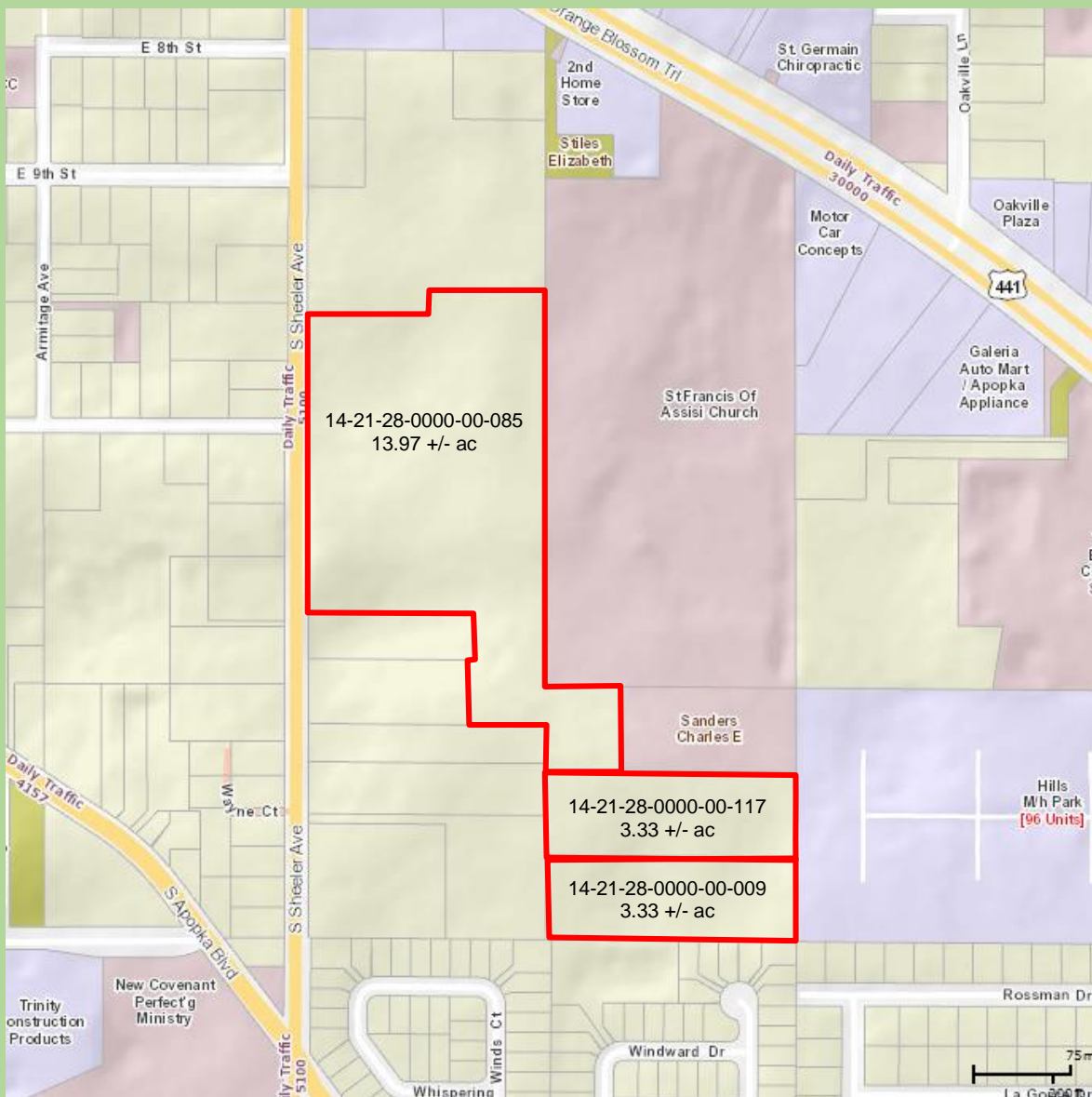
Finance Director
HR Director
IT Director
Police Chief

Public Services Director
Recreation Director
City Clerk
Fire Chief



AMBERGATE TOWNHOMES
Owner: Park Square Enterprises, LLC
Location: On the east side of South Sheeler Avenue at the intersection of
South Sheeler Avenue and East 10th Street
Parcel ID #S: 14-21-28-0000-00-085; 14-21-28-0000-00-117; 14-21-28-0000-00-009
20.63 +/- Acres

VICINITY MAP



CAPITAL FACILITY FEES PAYMENT AGREEMENT
UNINCORPORATED ORANGE COUNTY

Project: AMBERGATE TOWNHOMES

THIS AGREEMENT made as of this _____ day of _____, 20____
by and between the City of Apopka, a municipal corporation, hereinafter after
sometimes referred to as "CITY"; and

Park Square Enterprises, LLC
5200 Vineland Road, Suite 200
Orlando, FL 32811

sometimes hereinafter referred to as "OWNER".

WHEREAS, the City Council of the City of Apopka has enacted ordinances
providing for Sewer and Water Capital Facility Fees; and

WHEREAS, the Owner controls lands located on the east side of S. Sheeler
Avenue at the intersection of S. Sheeler Avenue and E. 10th Street as described in
Exhibit "A" attached hereto and made a part hereof as is fully set out in this paragraph
and hereinafter referred to as the "Property" and Owner or its successors or assigns
intends to construct Ambergate Townhomes per plans on file in the City of Apopka
Public Services Department as of this date; and

WHEREAS, Owner has officially requested that the City provide sewer and water
service to the development located on the property herein described in Exhibit "A"; and

WHEREAS, the City is willing to provide, in accordance with the provisions of this
Agreement, water service to the development thereafter operate applicable facilities so
that the development will receive adequate sewer service and water supply from the
City; and

WHEREAS, Owner is obligated to pay certain Capital Facility Fees in conjunction with this commitment for capacity and do desire to execute a Payment Agreement with the City.

NOW, THEREFORE, the parties hereto agree as follows:

Section 1. Compliance. The Owner agrees that both it and its successors and assigns will abide by the provisions of this Agreement and the relevant ordinances of the City and that it will install or have installed the improvements required by the City in accordance with the provisions of this Agreement and of said ordinances. The Owner further understands and agrees that, in the development of subject property, failure to abide by the terms of this Agreement, the provisions of the City's ordinance, or any other applicable regulations, ordinances, or laws from time to time existing, shall constitute ground for refusal by the City, or the appropriate authority thereof, to allow such development to obtain further inspections, to institute utility services, or to permit occupancy of completed improvements.

Section 2. Capital Facility Fee. Owner hereby agrees to pay the City the following Capital Facility Fees:

- A. Sewer Capital Facility Fee: Based on estimated flows, Owner agrees to pay the City \$762,336.00 for 144 Sewer ERU's at \$5,294.00 per ERU.
- B. Water Capital Facility Fee: Based on estimated flows, Owner agrees to pay the City \$484,848.00 for 144 Water ERU's at \$3,367.00 per ERU.

Section 3. Payment of Capital Facility Fees. The total amount of Capital Facility Fees due and payable by the Owner to City is \$1,247,184.00.

A. On April 19, 2016 the Owner paid the City an amount of \$374,155.20 which represents 30% of the total Capital Facility Fees due.

B. Thirty-five (35) per cent of all capital facility fees at the time of receiving the Department of Environmental Protection (DEP) approval/permit, or, if no such permit is required, sixty (60) days after the date of issuance of a City building permit.

C. All remaining capital facility fees are due prior to issuing the Department of Environmental Protection (DEP) clearances on any phase of the project.

Section 4. Repayment of Capital Facility Fees. If no DEP permit is obtained or if a DEP permit expires and DEP has released all permitted capacity back to the City and no construction has been commenced, then applicant shall be entitled to a refund of the capital facility fees paid as a condition for issuance, except that the City shall retain three (3) per cent of the refunded funds as a fee to offset the costs of collection and refund.

Section 5. Binding Effect of Agreement. This Agreement shall be binding upon and shall inure to the benefit of the Owner, the City and their respective assigns and successors by merger, consolidation, conveyance or otherwise, subject to the terms of this Agreement, as contained herein. Once these funds are paid in full this Agreement is satisfied and no longer in effect.

Section 6. City shall be entitled to any attorney's fees and costs incurred in the enforcement of this Agreement.

WITNESSES:

THE CITY OF APOPKA

Print Name

Glenn Irby
City Administrator

Print Name

STATE OF FLORIDA
COUNTY OF ORANGE

The foregoing instrument was acknowledged before me this _____ day of _____, 20____, by Glenn Irby, City Administrator, of the City of Apopka, a Florida municipal corporation, he is personally known to me or has produced _____ as identification and did (did not) take an oath.

(NOTARY'S SEAL)

Notary Public

Print Name
Commission No. _____

WITNESSES AS TO OWNER:

[Signature]

Bob Bosame
Print Name

Prakhar

PRAKHAR AGRAWAL

Print Name

OWNER:

By: [Signature]
Name

STEVEN PARKER

Pres / COO

Title

STATE OF Florida

COUNTY OF Orange

The foregoing instrument was acknowledged before me this 5 day of April, 2016 by Steven Parker
(Name of officer or agent) of Pres / COO
(Name of corporation acknowledging), a Park Square Homes
(state or place of corporation) Corporation, on behalf of the corporation. He/She/They
Is/are personally known to me or has produced _____
(type of identification) as identification and did (did not) take an oath.

(NOTARY'S SEAL)



[Signature]
Notary Public

Cynthia Leigh Linden
Print Name

Commission No. FF 187028

EXHIBIT "A"

Legal Description

Property Description

Parcel 1

The South 370.00 feet of the West $\frac{1}{2}$ of the Northwest $\frac{1}{4}$ of the Northwest $\frac{1}{4}$ of Section 14, Township 21 South, Range 28 East, Orange County, Florida. LESS the North 62.00 feet of the West 344.00 feet thereof. Subject to Road Right of Way for Sheeler Avenue.

Parcel 2

The West 200.00 feet of the North $\frac{1}{3}$ of the Southeast $\frac{1}{4}$ of the Southwest $\frac{1}{4}$ of the Northwest $\frac{1}{4}$ of Section 14, Township 21 South, Range 28 East, Orange County, Florida.

Parcel 3

The South $\frac{1}{2}$ of the North $\frac{2}{3}$ of the Southeast $\frac{1}{4}$ of the Southwest $\frac{1}{4}$ of the Northwest $\frac{1}{4}$ of Section 14, Township 21 South, Range 28 East, Orange County, Florida.

Parcel 4

The South $\frac{1}{3}$ of the Southeast $\frac{1}{4}$ of the Southwest $\frac{1}{4}$ of the Northwest $\frac{1}{4}$ of Section 14, Township 21 South, Range 28 East, Orange County, Florida.

Parcel 5

The East 200.00 feet of the North 170 feet of the South 731 feet of the West $\frac{1}{2}$ of the Southwest $\frac{1}{4}$ of the Northwest $\frac{1}{4}$ of Section 14, Township 21 South, Range 28 East, Orange County, Florida.

Parcel 6

The East 190.00 feet of the West $\frac{1}{2}$ of the Southwest $\frac{1}{4}$ of the Northwest $\frac{1}{4}$ of Section 14, Township 21 South, Range 28 East, Orange County, Florida. Less the North 500 feet and Less the South 731 feet.

Parcel 7

The North 500 feet of the Northwest $\frac{1}{4}$ of the Southwest $\frac{1}{4}$ of the Northwest $\frac{1}{4}$ of Section 14, Township 21 South, Range 28 East, Orange County, Florida. Subject to Road Right of Way for Sheeler Avenue. LESS the South 25.00 feet (less the East 190.00 feet) of the North 500 feet of the Northwest $\frac{1}{4}$ of the Southwest $\frac{1}{4}$ of the Northwest $\frac{1}{4}$ of Section 14, Township 21 South, Range 28 East, Orange County, Florida.

Backup material for agenda item:

5. Authorize the Orange County Supervisor of Elections to use the Northwest Recreation Complex as a polling location.



CITY OF APOPKA CITY COUNCIL

- CONSENT AGENDA
- PUBLIC HEARING
- SPECIAL REPORTS
- OTHER:

MEETING OF: May 4, 2016
 FROM: Recreation
 EXHIBITS: Agreement

SUBJECT: ORANGE COUNTY SUPERVIOISOR OF ELECTIONS POLLING PLACE

REQUEST: PERMISSION FOR ORANGE COUNTY SUPERVIOISOR OF ELECTIONS TO USE NORTHWEST RECREATION COMPLEX AS A POLLING LOCATION.

SUMMARY:

The Orange County Supervisor of Elections is requesting to utilize the multipurpose room at the Northwest Recreation Complex as a 2016 polling location. No rental fees would be charged per Florida State Statue which designates tax-supported buildings to be made available for use as polling places upon the request of the Supervisor of Elections (§101.71, Fla. Stat.). The facility is requested for the Primary Election on Tuesday August 30, 2016 through Wednesday August 31, 2016 and the General Election on Tuesday November 8, 2016 through Wednesday November 9, 2016.

FUNDING SOURCE:

N/A

RECOMMENDATION ACTION:

Authorize the Orange County Supervisor of Elections to use the Northwest Recreation Complex as a 2016 Polling Location.

DISTRIBUTION

Mayor Kilsheimer	Finance Director	Public Services Director
Commissioners	HR Director	Recreation Director
City Administrator	IT Director	City Clerk
Community Development Director	Police Chief	Fire Chief



**SUPERVISOR OF ELECTIONS
POLLING PLACE AVAILABILITY
2016 ELECTIONS**

PCT# _____

1. Contact Information:

ADDRESS:

FACILITY NAME: Northwest Recreation Complex

ADDRESS: 3710 Jason Dwelley Parkway FACILITY PHONE # 407-703-1784

FAX # 407-703-1783 EMAIL ADDRESS: dburgoon@apopka.net

MAILING ADDRESS: _____
(if different from above)

Who is the facility contact person in your office who will manage election matters (equipment delivery and pickup, setup, etc.)

David Burgoon 407-703-1784 _____
Name Phone Number (Business Hours) Phone Number (Other)

Alternative Contact Person: Cindy Edwards 407-703-1784
Name Phone Number

Hours of operation: Mon. 8am - 9pm Tues. 8am - 9pm Wed. 8am - 9pm Th. 8am - 9pm Fri. 8am - 9pm

2. Facility Information:

Will voting take place in the same room as in 2014:

YES **NO** If no, what room will be used?

New Location

Can the following be provided for use on Election Day?

YES **NO** If no, how many can you provide?
 five tables _____
 ten chairs _____

Since 2014, have there been any structural changes or are there plans to make changes to the following areas?

YES **NO** If yes to any, please describe:
 ...the building? _____
 ...the voting room? _____
 ...the parking lot? _____



SUPERVISOR OF ELECTIONS POLLING PLACE AVAILABILITY 2016 ELECTIONS

What company provides your electric? OUC PROGRESS ENERGY OTHER: Duke Energy

	YES	NO
Does the voting room run on a generator when power goes out?	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Can poll workers set up the Voting Room on the Monday prior to the election?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
--	-------------------------------------	--------------------------

If no, can our poll workers arrive at 5:30 AM on Election morning?	<input type="checkbox"/>	<input type="checkbox"/>
--	--------------------------	--------------------------

What arrangements will be made for access to the building Election morning?

- | | |
|---|---|
| <input type="checkbox"/> 24 hour facility | <input type="checkbox"/> Poll worker needs to pick up key |
| <input checked="" type="checkbox"/> Doors will be opened by our staff | <input type="checkbox"/> We will provide key to be used for all elections |

Emergency Contact Person for morning entry: Lorena Potter

Phone Number: _____

Election equipment will be delivered on the Monday preceding the elections, and picked up the Wednesday following each Election. Please give us a **4 hour time frame** that would be convenient for delivery and pickup of our equipment:

Delivery: 1:00 pm to 5:00 pm Pickup: 1:00 pm to 5:00 pm

3. Other Information:

Comments or special requirements/circumstances:

OFFICE USE ONLY

New survey needed: Y N PSC _____ Tax Supported? _____

Contact Information updated by: _____ Delivery/Pickup times entered by: _____ date: _____

Election Day Screen completed by: _____ Payment screen completed by: _____ date: _____

68



SUPERVISOR OF ELECTIONS
119 W. KALEY ST.
ORLANDO, FL 32806

**AGREEMENT FOR USE AS A POLLING PLACE
TAX SUPPORTED FACILITY**

PRECINCT _____

This agreement is entered into this 28th day of April, 2016, by and between Bill Cowles, in his official capacity as Supervisor of Elections for Orange County, Florida, hereafter referred to as SOE, and David Burgoon- Director of Recreation, City of Apopka, hereafter referred to as "owner/manager/organization", whose telephone number is 407-703-1784.

WHEREAS, SOE desires to obtain the use of the premises and facilities known as:

Northwest Recreation Complex meeting room

Located at: 3710 Jason Dwelley Parkway Apopka, Florida 32712

_____ ("**premises**")

for use as a polling place for elections in calendar year 2016; and WHEREAS, "owner/manager/organization" is agreeable to allowing the "premises" to be used as a polling place under the terms and conditions set forth below. ACCORDINGLY, the parties agree as follows:

1. "Owner/manager/organization" agrees to allow the following described areas:

Room Meeting Room and Lobby

Other areas _____

including available parking areas and directly connecting passageways to be used as a polling place on the following election dates:

Tuesday,	March 15, 2016	Presidential Preference Primary
Tuesday,	August 30, 2016	Primary Election
Tuesday,	November 8, 2016	General Election

The "premises" are to be occupied and used solely by SOE from the time that poll workers arrive until all Election Day activities are complete.

2. "Owner/manager/organization" will permit SOE to gain access to the "premises" on other necessary dates and times for purposes of carrying out elections activities, including but not limited to, delivering, setting up and removing of election equipment, and supplies. Arrangements between the parties with regard to dates and times for delivery and pick-up of voting equipment, supplies and other materials shall be by mutual agreement.

3. Per Florida Statute Chapter 101.71(5) which states "Public, tax-supported buildings shall be made available for use as polling places upon the request of the Supervisor of Elections" there will be no compensation for use of this facility.

4. During the duration of this Agreement, each party shall maintain insurance or self-insurance coverage of such types and in such amounts as may be deemed necessary by each party. SOE shall also maintain "all-risk" property insurance covering its equipment and other personal property for the full replacement value of such property. Likewise, "Owner/manager/organization" shall maintain "all-risk" property insurance covering the building and its personal property for the full replacement value of such property. Each party hereby agrees to waive and release the other from all claims related to or arising out of damage to its respective property, howsoever caused, to the extent the claim or damage to its respective insurance whether or not said insurance was in effect as required.

Each party shall defend, indemnify and hold the other party harmless from all claims, damages, losses and expenses arising out of or resulting from the negligent performance of its respective operations under the Agreement; however, nothing contained herein shall constitute a waiver by SOE of its sovereign immunity or the provisions of Florida Statutes Section 768.28

5. "Owner/manager/organization" agrees to permit entry to the "premises" on Election morning at (circle one) 5:30 / 6:00 a.m. according to the following arrangements:

- 24 hour facility
- Poll worker needs to pick up key
- Doors will be opened by our staff
- We will provide key to be used for all elections

Emergency Contact Person for morning entry: Lorena Potter

Phone Number(s): (work) 407-703-1784 (home) (cell)

IN WITNESS WHEREOF, the parties have executed this Agreement on the dates stated below:

FACILITY CONTACT

ORANGE COUNTY SUPERVISOR OF ELECTIONS

Signature: David Burgoon

Print Name: David Burgoon

Bill Cowles

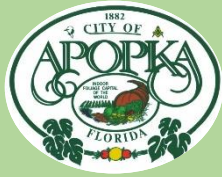
Date: 4/28/16

Date:

Backup material for agenda item:

1. Ordinance 2493 – Second Reading – Change of Zoning - Quasi-Judicial

David Moon



CITY OF APOPKA CITY COUNCIL

- CONSENT AGENDA
- PUBLIC HEARING
- SPECIAL REPORTS
- OTHER: Ordinance

MEETING OF: May 4, 2016
 FROM: Community Development
 EXHIBITS: Zoning Report
 Vicinity Map
 Adjacent Zoning Map
 Adjacent Uses Map
 Existing Uses
 Ordinance No. 2493

SUBJECT: ORDINANCE NO. 2493 – CHANGE OF ZONING – LITTLE BROWNIE PROPERTIES, INC.

REQUEST: SECOND READING & ADOPTION OF ORDINANCE NO. 2493 – CHANGE OF ZONING – LITTLE BROWNIE PROPERTIES, INC., FROM “COUNTY” IND-2/IND-3 (ZIP) TO “CITY” I-1 (RESTRICTED INDUSTRIAL); (PARCEL I.D. NOS. 15-21-28-0000-00-077 & 15-21-28-0000-00-078).

SUMMARY:

OWNER/APPLICANT: Little Brownie Properties, Inc.
 LOCATION: 532 E 13th Street
 EXISTING USE: Vacant
 FLUM DESIGNATION: Industrial
 CURRENT ZONING: “County” IND-2/IND-3 (ZIP)
 PROPOSED DEVELOPMENT: Light industrial development/wholesale warehousing
 TRACT SIZE: 17.47 +/- acres
 MAXIMUM ALLOWABLE DEVELOPMENT: EXISTING: 380,496 sq. ft.
 PROPOSED: 456,595 sq. ft.

FUNDING SOURCE: N/A

DISTRIBUTION

Mayor Kilsheimer	Finance Director	Public Services Director
Commissioners	HR Director	Recreation Director
City Administrator	IT Director	City Clerk
Community Development Director	Police Chief	Fire Chief

ADDITIONAL COMMENTS: Presently, the subject property has not yet been assigned a “City” zoning category. Applicant is requesting the City to assign a zoning classification of I-1 (Restricted Industrial) to the property. The subject property was annexed into the City of Apopka on January 20, 2010, through the adoption of Ordinance No. 2143. The proposed change of zoning is being requested by the owner/applicant.

A request to assign a change of zoning to I-1 (Restricted Industrial) is compatible to the adjacent zoning classifications and with the general character of abutting properties and surrounding area. The property owner is requesting the I-1 (Restricted Industrial) zoning classification to accommodate the use of the property for light industrial/wholesale warehousing. This use is consistent with the existing future land use, proposed zoning district and compatible with the general character of surrounding zoning and uses.

The change of zoning application covers approximately 17.47 acres.

In conjunction with state requirements, staff has analyzed the proposed amendment and determined that adequate public facilities exist to support this land use change (see attached Zoning Report).

COMPREHENSIVE PLAN COMPLIANCE: The existing and proposed use of the property is consistent with the Industrial (max 0.60 FAR) Future Land Use designation and the City’s proposed I-1 (Restricted Industrial) Zoning classification. Site development cannot exceed the intensity allowed by the Future Land Use policies. Based on the adjacent road system and nearby residential neighborhoods, I-1 (Restricted Industrial) Industrial is more suitable and compatible than I-2 Industrial zoning.

SCHOOL CAPACITY REPORT: The proposed rezoning is to a non-residential zoning district and, therefore, a capacity enhancement agreement with OCPS is not necessary.

ORANGE COUNTY NOTIFICATION: The JPA requires the City to notify the County 30 days before any public hearing or advisory board. The City properly notified Orange County on February 5, 2016

PUBLIC HEARING SCHEDULE:

March 8, 2016 - Planning Commission (5:30 pm)
April 20, 2016 - City Council (7:00 pm) - 1st Reading
May 4, 2016 – City Council (1:30 pm) - 2nd Reading

DULY ADVERTISED:

February 19, 2016 – Public Notice and Notification
April 8, 2016 – Ordinance Heading ¼ Page w/Map Ad

RECOMMENDATION ACTION:

The **Development Review Committee** finds the proposed amendment consistent with the Comprehensive Plan and compatible with the character of the surrounding area, and recommends approval of the change in zoning from “County” IND-2/IND-3 (ZIP) to “City” I-1 (Restricted Industrial) for the property owned by Little Brownie Properties, Inc., located at 532 E 13th Street.

The **Planning Commission**, at its meeting on March 8, 2016, found the rezoning to be consistent with the Comprehensive Plan and the Land Development Code and recommended approval (5-0) of the change in zoning from “County” IND-2/IND-3 (ZIP) to “City” I-1 (Restricted Industrial) for the property owned by Little Brownie Properties, Inc., located at 532 E 13th Street.

The **City Council**, at its meeting on April 20, 2016, accepted the First Reading of Ordinance No. 2493 and held it over for Second Reading and Adoption on May 4, 2016.

Adopt Ordinance No. 2493.

Note: This item is considered Quasi-Judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

ZONING REPORT

RELATIONSHIP TO ADJACENT PROPERTIES:

Direction	Future Land Use	Zoning	Present Use
North (County)	Low Density Residential (0-4 du/ac)	R-1	R-O-W & Vacant Residential
East (City)	Industrial (max 0.60 FAR)	I-1	Warehousing
South (City)	Industrial (max 0.60 FAR) Residential Medium (0-10 du/ac) Residential Low (0-5 du/ac)	I-1 R-2 R-1	Vacant Industrial Vacant Residential Single-Family Residential
West (City)	Residential Medium (0-10 du/ac)	R-1AA	Vacant

**LAND USE & TRAFFIC
 COMPATIBILITY:**

The subject property fronts and is accessed by a local roadway (E 13th Street).

**COMPREHENSIVE
 PLAN COMPLIANCE:**

The proposed I-1 (Restricted Industrial) zoning is consistent with the City’s Industrial (max 0.60 FAR) Future Land Use designation and with the character of the surrounding area and future proposed development. The I-1 (Restricted Industrial) zoning classification is one of the acceptable zoning categories allowed within the Industrial Future Land Use Designation. Development Plans shall not exceed the density allowed in the adopted Future Land Use Designation.

**I-1 DISTRICT
 REQUIREMENTS:**

- Minimum Living Area: NA
- Minimum Site Area: 15,000 sq. ft.
- Minimum Lot Width 100 ft.
- Setbacks: Front: 25 ft.
- Rear: 10 ft. (30 ft. to residential)
- Side: 10 ft.
- Corner 25 ft.

Based on the above zoning standards, the subject parcels comply with code requirements for the I-1 (Restricted Industrial) district.

**BUFFERYARD
 REQUIREMENTS:**

1. Areas adjacent to all road rights-of-way shall provide a minimum 25-foot landscaped bufferyard.
2. Areas adjacent to agricultural uses or districts shall provide a minimum of ten feet abutting the property line with landscaping and a six-foot-high masonry wall.
3. Areas adjacent to residential uses or districts shall provide a six-foot-high masonry wall within a minimum of 50-foot landscaped bufferyard.

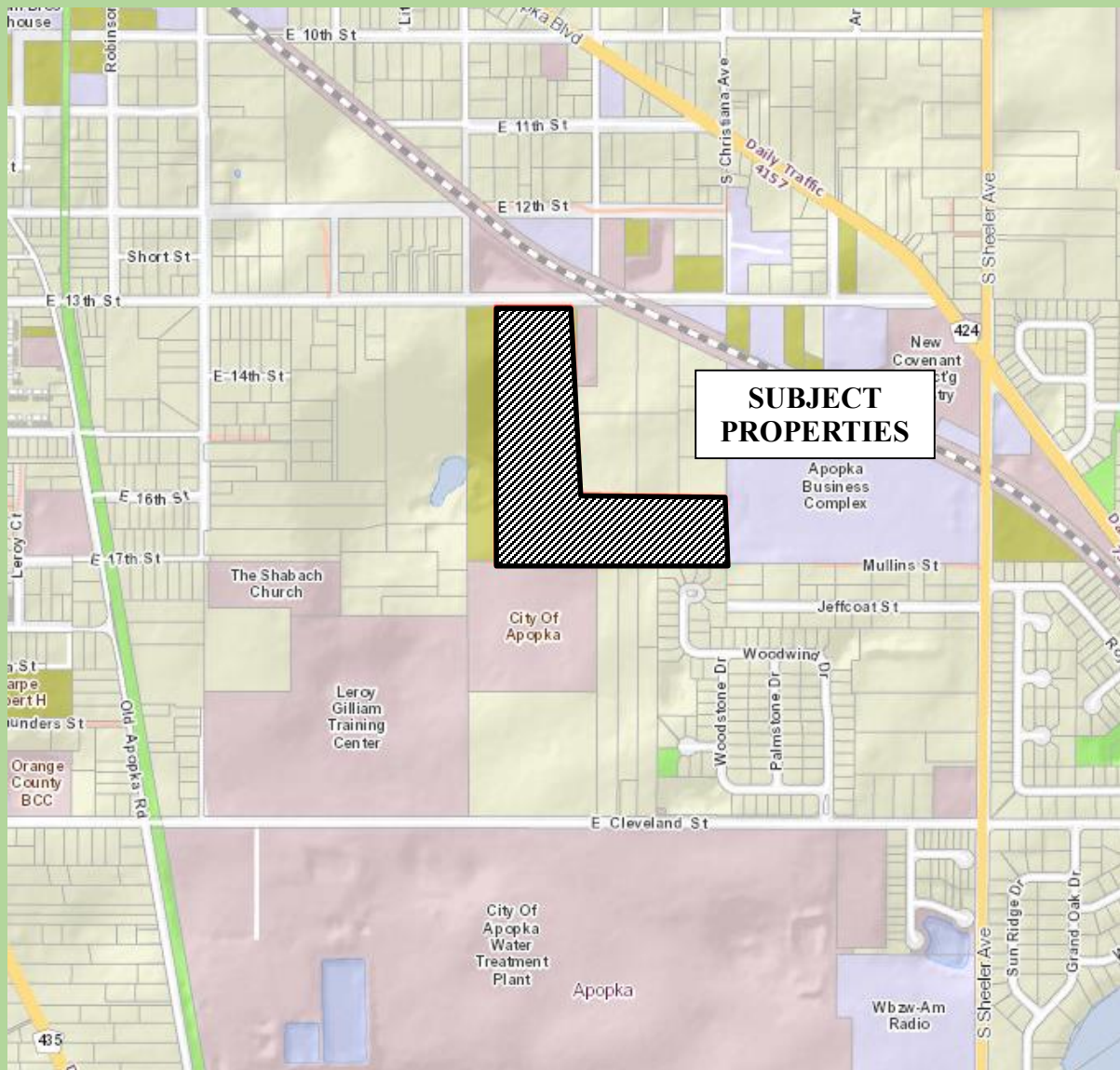
4. Industrial uses adjacent to nonresidential, nonindustrial uses or districts shall provide one of the following:
 - a. A minimum of 25 feet abutting the property with landscaping and an earth berm, measuring three feet with a 3:1 slope; or
 - b. A minimum six-foot-high masonry wall within a minimum of ten-foot landscaped bufferyard.

**ALLOWABLE
USES:**

Any C-3 Commercial District permitted use and wholesale distribution, storage and light manufacturing, including: manufacture and processing of novelties, bakery and confectionary products, garments, scientific, electrical, instruments or equipment. Bus, cab and truck repair. Dyeing, dry cleaning and laundering. Machinery sales and machine shops. Cold storage and frozen food lockers. All other uses not prohibited, and similar and compatible to those within the I-1 Restricted Industrial Zoning District.

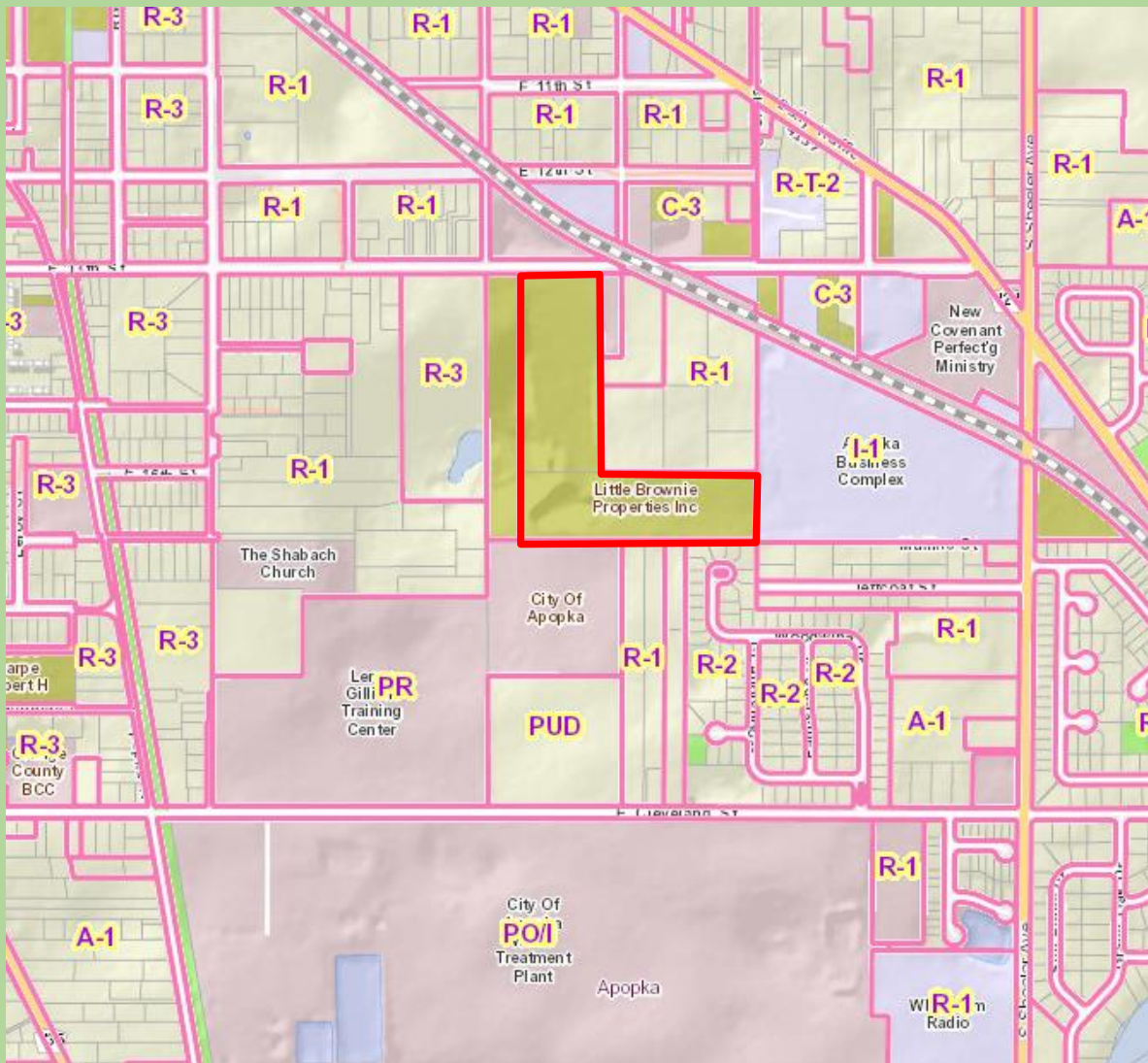
Little Brownie Properties, Inc.
532 E 13th Street
17.47 +/- Acres
Existing Maximum Allowable Development: 380,496 sq. ft.
Proposed Maximum Allowable Development: 456,595 sq. ft.
Proposed Zoning Change
From: “County” IND-2/IND-3 (ZIP)
To: “City” I-1 (Restricted Industrial)
Parcel ID #: 15-21-28-0000-00-077 & 15-21-28-0000-00-078

VICINITY MAP



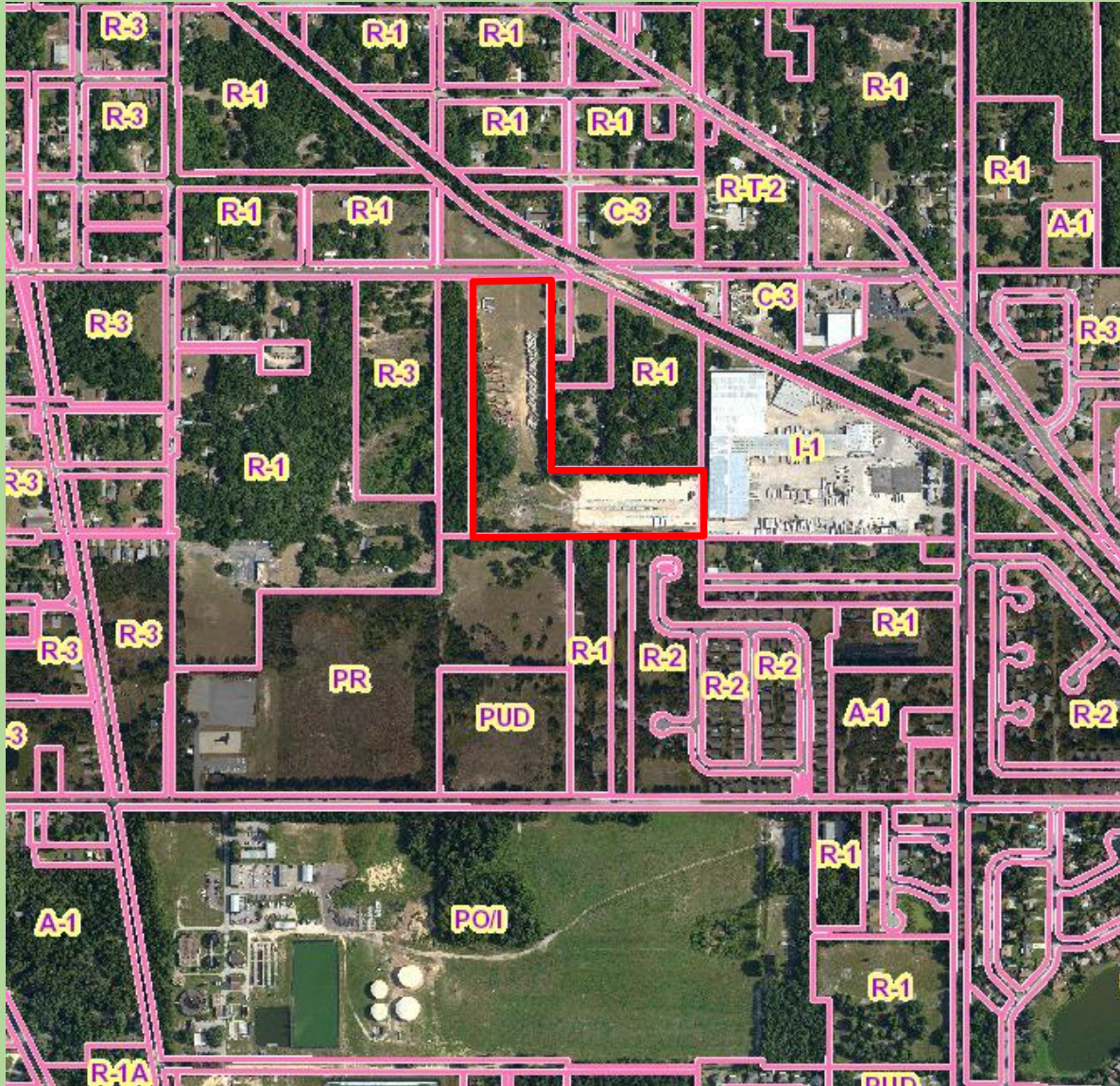


ADJACENT ZONING



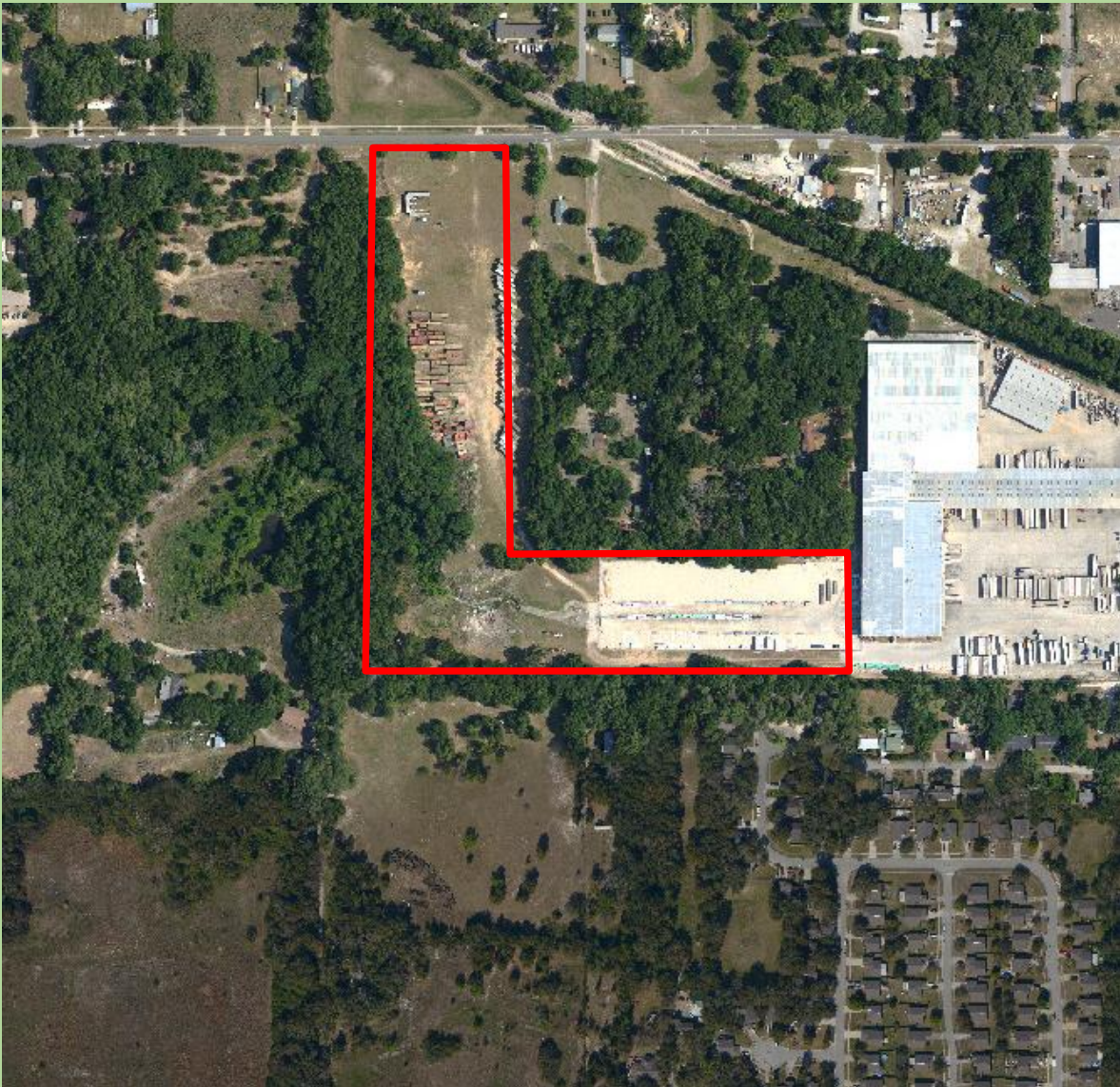


ADJACENT USES





EXISTING USES



ORDINANCE NO. 2493

AN ORDINANCE OF THE CITY OF APOPKA, FLORIDA, CHANGING THE ZONING FROM “COUNTY” IND-2 (ZIP) AND IND-3 (ZIP) TO “CITY” I-1 (RESTRICTED INDUSTRIAL) FOR CERTAIN REAL PROPERTY GENERALLY LOCATED SOUTH OF EAST 13TH STREET, WEST OF SHEELER AVENUE, COMPRISING 17.49 ACRES MORE OR LESS, AND OWNED BY LITTLE BROWNIE PROPERTIES, INC.; PROVIDING FOR DIRECTIONS TO THE COMMUNITY DEVELOPMENT DIRECTOR, SEVERABILITY, CONFLICTS, AND AN EFFECTIVE DATE.

WHEREAS, to manage the growth, the City of Apopka, Florida, finds it in the best interest of the public health, safety and welfare of its citizens to establish zoning classifications within the City; and

WHEREAS, the City of Apopka has requested a change in zoning on said property as identified in Section I of this ordinance; and

WHEREAS, the proposed I-1 (Restricted Industrial) zoning has been found to be consistent with the City of Apopka Comprehensive Plan, and the City of Apopka Land Development Code.

NOW THEREFORE, BE IT ORDAINED, by the City Council of the City of Apopka, Florida, as follows:

Section I. That the zoning classification of the following described property, being situated in the City of Apopka, Florida, is hereby I-1 (Restricted Industrial), as defined in the Apopka Land Development Code.

Legal Description:

PARCEL 1: NW1/4 OF SE1/4 (LESS W1/8 & N3/4) OF SEC 15-21-28.
Parcel ID No. 15-21-28-0000-00-077
8.74 +/- acres

PARCEL 2: E 395.2 FT OF W 560.2 FT OF N3/4 OF NW1/4 OF SE1/4 (LESS N 30 FT FOR R/W) OF SEC 15-21-28
Parcel ID No. 15-21-28-0000-00-078
8.75 +/- acres

Section II. That the zoning classification is consistent with the Comprehensive Plan of the City of Apopka, Florida.

Section III. That the Community Development Director, or the Director’s designee, is hereby authorized to amend, alter, and implement the official zoning maps of the City of Apopka, Florida, to include said designation.

ORDINANCE NO. 2493

PAGE 2

Section IV. That if any section or portion of a section or subsection of this Ordinance proves to be invalid, unlawful, or unconstitutional, it shall not be held to invalidate or impair the validity, force or effect of any other section or portion of section or subsection or part of this ordinance.

Section V. That all ordinances or parts of ordinances in conflict herewith are hereby repealed.

Section VI. That this Ordinance shall take effect upon the date of adoption.

READ FIRST TIME: April 20, 2016

READ SECOND TIME
AND ADOPTED: May 4, 2016

Joseph E. Kilsheimer, Mayor

ATTEST:

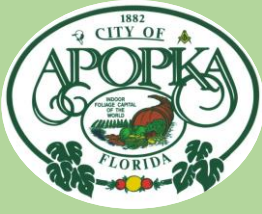
Linda Goff, City Clerk

DULY ADVERTISED: February 19, 2016
April 8, 2016

Backup material for agenda item:

2. Ordinance 2494 – Second Reading – Annexation

David Moon



CITY OF APOPKA CITY COUNCIL

CONSENT AGENDA
 PUBLIC HEARING
 SPECIAL REPORTS
 OTHER:

MEETING OF: May 4, 2016
FROM: Community Development
EXHIBITS: Exhibit "A" – Summary
Ordinance No. 2494
Vicinity Map

SUBJECT: 2016 ANNEXATION – CYCLE NO. 2

REQUEST: SECOND READING & ADOPTION OF ORDINANCE NO. 2494 – SBKP, LLC.

SUMMARY:

OWNER: SBKP, LLC
LOCATION: 312 Old Dixie Highway
LAND USE: Refer to Exhibit "A"
EXISTING USE: Refer to Exhibit "A"
TRACT SIZE: 0.26 +/- acre

ADDITIONAL COMMENTS: The proposed annexation shall be on the basis of the existing County Future Land Use and Zoning Designations. The assignment of a City Future Land Use and Zoning designation will occur at a later date, and through action by the City Council.

ORANGE COUNTY NOTIFICATION: The JPA requires the City to notify the County 15 days prior to the first reading of any annexation ordinance. The City provided notification to the County on April 1, 2016.

DULY ADVERTISED:
April 8, 2016 - 1/4 Page Public Hearing Advertisement
April 15, 2016 - 1/4 Page Public Hearing Advertisement
April 22, 2016 - Ordinance Headings Advertisement

PUBLIC HEARING SCHEDULE:
April 20, 2016 (7:00 pm) - City Council 1st Reading
May 4, 2016 (1:30 pm) - City Council 2nd Reading and Adoption

FUNDING SOURCE: N/A

DISTRIBUTION

Mayor Kilsheimer
Commissioners
City Administrator
Community Development Director

Finance Director
HR Director
IT Director
Police Chief

Public Services Director
Recreation Director
City Clerk
Fire Chief

RECOMMENDATION ACTION:

The **Development Review Committee** recommends approval of the 2016 Annexation – Cycle No. 2

The **City Council**, at its meeting on April 20, 2016, accepted the First Reading of Ordinance No. 2494, and held it over for Second Reading and Adoption on May 4, 2016.

Adopt Ordinance No. 2494.

EXHIBIT "A"
CITY OF APOPKA
2016 ANNEXATION CYCLE # 2

TOTAL ACRES: 15.3 +/-
ANNEXATION ORDINANCE NO.: 2494 & 2495

Adopted this 4th day of May, 2016

ORD. NO.	ITEM NO.	OWNER'S NAME	LOCATION	PARCEL NUMBER	ACRES +/-	EXISTING USE	FUTURE LAND USE (COUNTY)
2494	1	SBKP, LLC	312 OLD DIXIE HIGHWAY	09-21-28-7552-01-070	0.26	SFR (1)	LOW DENSITY RESIDENTIAL MAX. 4DU/AC
2495	2	JACK V. CRAVEY JOYCE A. CRAVEY	3815 PHILS LANE 3827 HIDEAWAY ROAD	24-20-27-0000-00-112 24-20-27-0000-00-056	13.35 <u>1.69</u> 15.04	VACANT LAND	RURAL 1DU/10ACRES/ AGRICULTURAL

g:\Shared\4020\PLANNING_ZONING\Annexations\2016 Cycle 2 Spreadsheet

ORDINANCE NO. 2494

AN ORDINANCE OF THE CITY OF APOPKA, FLORIDA, TO EXTEND ITS TERRITORIAL AND MUNICIPAL LIMITS TO ANNEX PURSUANT TO FLORIDA STATUTE 171.044 THE HEREINAFTER DESCRIBED LANDS SITUATED AND BEING IN ORANGE COUNTY, FLORIDA, OWNED BY SBKP, LLC LOCATED AT 312 OLD DIXIE HIGHWAY; PROVIDING FOR DIRECTIONS TO THE CITY CLERK, SEVERABILITY, CONFLICTS, AND AN EFFECTIVE DATE.

WHEREAS, SBKP, LLC, owner thereof, has petitioned the City Council of the City of Apopka, Florida, to annex the property located at 312 Old Dixie Highway; and

WHEREAS, Florida Statute 171.044 of the General Laws of Florida provide that a municipal corporation may annex property into its corporate limits upon voluntary petition of the owners, by passing and adopting a non-emergency ordinance to annex said property; and

WHEREAS, the City Council of the City of Apopka, Florida is desirous of annexing and redefining the boundaries of the municipality to include the subject property pursuant to Florida Statute 171.044.

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Apopka, Florida, as follows:

SECTION I: That the following described properties, being situated in Orange County, Florida, totaling **0.26 +/- acre**, and graphically depicted by the attached Exhibit "A", is hereby annexed into the City of Apopka, Florida, pursuant to the voluntary annexation provisions of Chapter 171.044, Florida Statutes, and other applicable laws:

Legal Descriptions:

ROBINSON & SAMUELS ADDITION TO APOPKA SECOND SECTION K/106 LOT 7
& E1/2 LOT 8 BLK A. Parcel I.D. No.: 09-21-28-7552-01-070
Containing 0.26+/- acre

SECTION II: That the corporate territorial limits of the City of Apopka, Florida, are hereby redefined to include said land herein described and annexed.

SECTION III: That the City Council will designate the land use classification and zoning category of these annexed lands in accordance with applicable City ordinances and State laws.

SECTION IV: That the land herein described and future inhabitants of the land herein described shall be liable for all debts and obligations and be subject to all species of taxation, laws, ordinances and regulations of the City.

SECTION V: That if any section or portion of a section or subsection of this Ordinance proves to be invalid, unlawful, or unconstitutional, it shall not be held to invalidate or impair the validity, force, or effect of any other section or portion of a section or subsection or part of this ordinance.

ORDINANCE NO.: 2494
PAGE 2

SECTION VI: That all ordinances or parts of ordinances in conflict herewith are hereby repealed.

SECTION VII: That this ordinance shall take effect upon passage and adoption, thereafter the City Clerk is hereby directed to file this ordinance with the Clerk of the Circuit Court in and for Orange County, Florida; the Orange County Property Appraiser; and the Department of State of the State of Florida.

READ FIRST TIME: April 20, 2016

READ SECOND TIME
AND ADOPTED: May 4, 2016

Joseph E. Kilsheimer, Mayor

ATTEST:

Linda Goff, City Clerk

DULY ADVERTISED FOR PUBLIC HEARING: April 8, 2016
April 15, 2016
April 22, 2016

ANNEXATION
SBKP, LLC
312 OLD DIXIE HIGHWAY



Exhibit "A"
Ord. # 2494
Parcel ID: 09-21-28-7552-01-070

Total Acres: 0.26 +/-

VICINITY MAP



Backup material for agenda item:

3. Ordinance 2495 – Second Reading – Annexation

David Moon



CITY OF APOPKA CITY COUNCIL

CONSENT AGENDA
 PUBLIC HEARING
 SPECIAL REPORTS
 OTHER:

MEETING OF: May 4, 2016
FROM: Community Development
EXHIBITS: Exhibit "A" – Summary
Ordinance No. 2495
Vicinity Map

SUBJECT: 2016 ANNEXATION – CYCLE NO. 2

REQUEST: SECOND READING & ADOPTION OF ORDINANCE NO. 2495 – JACK V. CRAVEY AND JOYCE A. CRAVEY.

SUMMARY:

OWNERS: JACK V. CRAVEY AND JOYCE A CRAVEY
LOCATION: 3815 Phils Lane and 3827 Hideaway Road
LAND USE: Refer to Exhibit "A"
EXISTING USE: Refer to Exhibit "A"
TRACT SIZE: 15.04 +/- acres

ADDITIONAL COMMENTS: The proposed annexation shall be on the basis of the existing County Future Land Use and Zoning Designations. The assignment of a City Future Land Use and Zoning designation will occur at a later date, and through action by the City Council.

ORANGE COUNTY NOTIFICATION: The JPA requires the City to notify the County 15 days prior to the first reading of any annexation ordinance. The City provided notification to the County on April 1, 2016.

DULY ADVERTISED:

April 8, 2016 - 1/4 Page Public Hearing Advertisement
April 15, 2016 - 1/4 Page Public Hearing Advertisement
April 22, 2016 - Ordinance Headings Advertisement

PUBLIC HEARING SCHEDULE:

April 20, 2016 (7:00 pm) - City Council 1st Reading
May 4, 2016 (1:30 pm) - City Council 2nd Reading and Adoption

FUNDING SOURCE: N/A

DISTRIBUTION

Mayor Kilsheimer
Commissioners
City Administrator
Community Development Director

Finance Director
HR Director
IT Director
Police Chief

Public Services Director
Recreation Director
City Clerk
Fire Chief

RECOMMENDATION ACTION:

The **Development Review Committee** recommends approval of the 2016 Annexation – Cycle No. 2

The **City Council**, at its meeting on April 20, 2016, accepted the First Reading of Ordinance No. 2495, and held it over for Second Reading and Adoption on May 4, 2016.

Adopt Ordinance No. 2495.

EXHIBIT "A"
CITY OF APOPKA
2016 ANNEXATION CYCLE # 2

TOTAL ACRES: 15.3 +/-
ANNEXATION ORDINANCE NO.: 2494 & 2495

Adopted this 4th day of May, 2016

ORD. NO.	ITEM NO.	OWNER'S NAME	LOCATION	PARCEL NUMBER	ACRES +/-	EXISTING USE	FUTURE LAND USE (COUNTY)
2494	1	SBKP, LLC	312 OLD DIXIE HIGHWAY	09-21-28-7552-01-070	0.26	SFR (1)	LOW DENSITY RESIDENTIAL MAX. 4DU/AC
2495	2	JACK V. CRAVEY JOYCE A. CRAVEY	3815 PHILS LANE 3827 HIDEAWAY ROAD	24-20-27-0000-00-112 24-20-27-0000-00-056	13.35 <u>1.69</u> 15.04	VACANT LAND	RURAL 1DU/10ACRES/ AGRICULTURAL

g:\Shared\4020\PLANNING_ZONING\Annexations\2016 Cycle 2 Spreadsheet

ORDINANCE NO. 2495

AN ORDINANCE OF THE CITY OF APOPKA, FLORIDA, TO EXTEND ITS TERRITORIAL AND MUNICIPAL LIMITS TO ANNEX PURSUANT TO FLORIDA STATUTE 171.044 THE HEREINAFTER DESCRIBED LANDS SITUATED AND BEING IN ORANGE COUNTY, FLORIDA, OWNED BY JACK V. CRAVEY AND JOYCE A. CRAVEY LOCATED AT 3815 PHILS LANE AND 3827 HIDEAWAY ROAD; PROVIDING FOR DIRECTIONS TO THE CITY CLERK, SEVERABILITY, CONFLICTS, AND AN EFFECTIVE DATE.

WHEREAS, Jack A. Cravey and Joyce V. Cravey, owners thereof, have petitioned the City Council of the City of Apopka, Florida, to annex the properties located at 3815 Phils Lane and 3827 Hideaway Road; and

WHEREAS, Florida Statute 171.044 of the General Laws of Florida provide that a municipal corporation may annex property into its corporate limits upon voluntary petition of the owners, by passing and adopting a non-emergency ordinance to annex said property; and

WHEREAS, the City Council of the City of Apopka, Florida is desirous of annexing and redefining the boundaries of the municipality to include the subject property pursuant to Florida Statute 171.044.

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Apopka, Florida, as follows:

SECTION I: That the following described properties, being situated in Orange County, Florida, totaling **15.04 +/- acres**, and graphically depicted by the attached Exhibit "A", is hereby annexed into the City of Apopka, Florida, pursuant to the voluntary annexation provisions of Chapter 171.044, Florida Statutes, and other applicable laws:

Legal Descriptions:

W1/2 OF NW1/4 OF NE1/4 SEC 24-20-27 SEE 4724/4396 & (LESS PT TAKEN FOR R/W PER 10755/8244) Parcel I.D. No. 24-20-27-0000-00-056 Containing 1.69 +/- acres

and;

W1/2 OF NW1/4 OF NE1/4 SEC 24-20-27 SEE 4724/4396 & (LESS PT TAKEN FOR R/W PER 10755/8244) Parcel I.D. No. 24-20-27-0000-00-112 Containing 13.35 +/- acres

Combined Total Acres 15.04 +/-

SECTION II: That the corporate territorial limits of the City of Apopka, Florida, are hereby redefined to include said land herein described and annexed.

ORDINANCE NO.: 2495
PAGE 2

SECTION III: That the City Council will designate the land use classification and zoning category of these annexed lands in accordance with applicable City ordinances and State laws.

SECTION IV: That the land herein described and future inhabitants of the land herein described shall be liable for all debts and obligations and be subject to all species of taxation, laws, ordinances and regulations of the City.

SECTION V: That if any section or portion of a section or subsection of this Ordinance proves to be invalid, unlawful, or unconstitutional, it shall not be held to invalidate or impair the validity, force, or effect of any other section or portion of a section or subsection or part of this ordinance.

SECTION VI: That all ordinances or parts of ordinances in conflict herewith are hereby repealed.

SECTION VII: That this ordinance shall take effect upon passage and adoption, thereafter the City Clerk is hereby directed to file this ordinance with the Clerk of the Circuit Court in and for Orange County, Florida; the Orange County Property Appraiser; and the Department of State of the State of Florida.

READ FIRST TIME: April 20, 2016

READ SECOND TIME
AND ADOPTED: May 4, 2016

Joseph E. Kilsheimer, Mayor

ATTEST:

Linda Goff, City Clerk

DULY ADVERTISED FOR PUBLIC HEARING: April 8, 2016
April 15, 2016
April 22, 2016

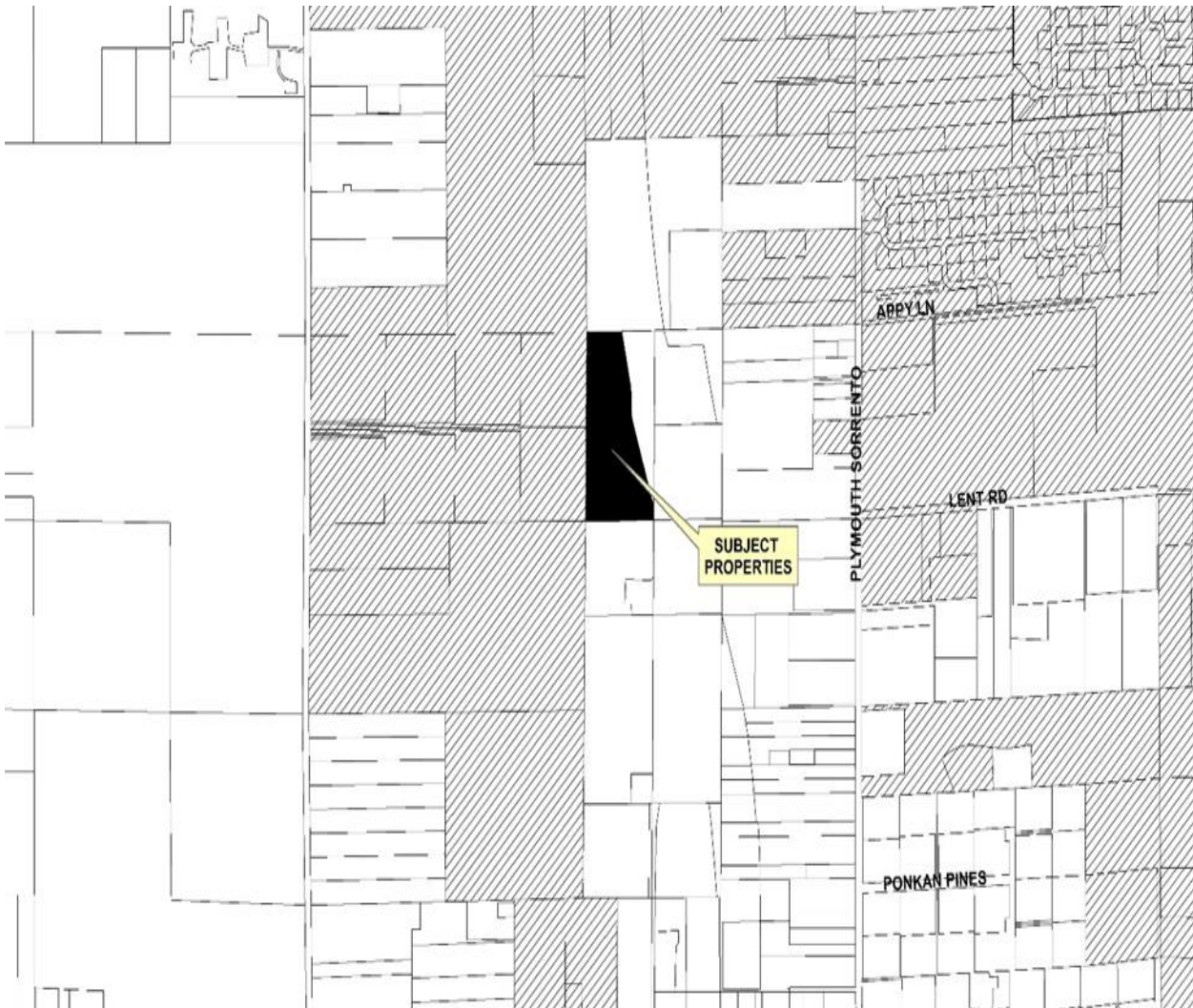
ANNEXATION
JACK AND JOYCE CRAVEY
3815 PHILS LANE
3827 HIDEAWAY ROAD



Exhibit "A"
Ord. # 2495
Parcel ID: 24-20-27-0000-00-112
24-20-27-0000-00-056

Total Acres: 15.04 +/-

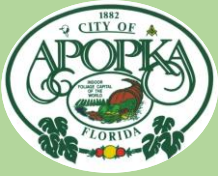
VICINITY MAP



Backup material for agenda item:

1. Final Development Plan/Plat – Silver Oak Subdivision- Quasi-Judicial

David Moon



CITY OF APOPKA CITY COUNCIL

- ___ CONSENT AGENDA
- X PUBLIC HEARING
- ___ SPECIAL REPORTS
- X OTHER: Plat Approval

MEETING OF: May 4, 2016
 FROM: Community Development
 EXHIBITS: Vicinity Map
 Aerial Map
 Subdivision Plan
 Landscape Plan
 Design Standards
 Hardscape Plan
 Home Elevations
 Typical Lot Layout
 Plat

SUBJECT: SILVER OAK SUBDIVISION – FINAL DEVELOPMENT PLAN AND PLAT.

REQUEST: APPROVE THE SILVER OAK SUBDIVISION FINAL DEVELOPMENT PLAN AND PLAT; AND ISSUE THE FINAL DEVELOPMENT ORDER.

SUMMARY:

OWNER: Development Solutions SH, LLC.
 APPLICANT: Surrey Homes
 ENGINEER: Poulos & Bennet, LLC c/o Mark Stehli, P.E.
 LOCATION: North of East Keene Road and west of Sheeler Avenue
 PARCEL ID NUMBERS: 22-21-28-0000-00-078; -079, -081, -082, -105, -108, -109, -114, -117, -122
 FUTURE LAND USE: Residential High (0 – 15 du/ac)
 ZONING: R-3 (Residential)
 OVERLAY: Small Lot Overlay
 PROPOSED DEVELOPMENT: 182 Single Family Residential Lots, Clubhouse and Community Swimming Pool
 TRACT SIZE: 50.83 +/- acres

FUNDING SOURCE: Not Applicable.

DISTRIBUTION

Mayor Kilsheimer	Finance Director	Public Services Director
Commissioners	HR Director	Recreation Director
City Administrator	IT Director	City Clerk
Community Development Director	Police Chief	Fire Chief

RELATIONSHIP TO ADJACENT PROPERTIES:

<i>Direction</i>	<i>Future Land Use</i>	<i>Zoning</i>	<i>Present Use</i>
North (County)	Rural	A-1	SFR
North (City)	Agricultural	AG	Active Horticultural Nursery
East (City)	Residential Low Density	R-1A/R-2	Cobblefield Single-Family Residential Community
South (City)	Agricultural	AG	Foliage Nursery
South (County)	Rural Settlement and Agricultural	A-1/A-2	Manufactured homes; Apopka Expressway (S.R. 414) toll entrance; horticultural nursery
West (City)	Agricultural	AG	Horticultural nursery

ADDITIONAL COMMENTS: The Silver Oaks Subdivision Final Development Plan proposes 182 single family residential units, clubhouse and community swimming pool. The Silver Oaks Subdivision is located within a Small Lot Overlay District which will consist of 40, 50 and 70 feet wide lots with a minimum lot size of 4600 S.F. and a minimum living area of 1500 S.F. All 40 foot wide lots have access via a rear-loaded garage from an alley owned and maintained by the homeowners association. All 50 foot and 70 foot wide lots have front entry garages. Development standards for the subdivision are based on the approved Silver Oak Master Plan and the Land Development Code.

Access: Ingress/egress for the development will occur from internal public roads connecting at two locations -- Sheeler Avenue and East Keene Road. All subdivision roads are publicly owned and maintained. All alleyways are owned and maintained by the homeowners association.

Stormwater: The stormwater management system includes on-site retention areas designed to meet the City’s Land Development Code requirements.

School Capacity Report: A School Mitigation Agreement is under review by Orange County Public Schools. The location is served by the following schools: Lakeville Elementary, Piedmont Lakes Middle School, and Wekiva High School. No plat shall be recorded for the subject property until the developer has obtained a school concurrency mitigation agreement and School Capacity Enhancement Agreement from OCPS.

Recreation Space: The developer is providing a total of 6.08 acres of passive and active recreational areas which includes a twenty-five hundred (2500) square foot clubhouse, tot lot, dog park, community swimming pool, and common open space areas.

Environmental: A habitat management plan was submitted by the applicant. Based on the results of this study, the developer must obtain approval from the Florida Fish and Wildlife Commission prior to commencing any site construction activity.

Orange County Notification: The JPA requires the City to notify the County any public hearing or advisory board consideration of a Subdivision Plan that is adjacent to Unincorporated Orange County. The County was notified.

Buffer/Tree Program: The applicant has provided a detailed landscape and irrigation plan for the property. The planting materials and irrigation system design are consistent with the water-efficient landscape standards set forth in Ordinance No. 2069. A tree survey and mitigation plan is included with the final development plan. The developer is required to pay tree mitigation fee of \$34,140 into the tree bank fund.

The following is a summary of the tree replacement program for this project:

Total inches on-site:	6510
Total number of specimen trees:	34
Total inches removed:	5742
Total inches retained:	768
Total specimen inches retained:	42
Total inches required:	5742
Total inches replaced:	2328
Total inches post development:	2328
Tree Inches to be mitigated:	3414

WAIVER REQUESTS:

- 1) Waiver Request #1: The applicant is requesting a waiver from LDC 6.02.07(8) b which requires “The width of curb and gutter shall be a minimum of 24 inches and shall be Florida state DOT type "F" curb and gutter. Simple vertical curbing and Miami curb are prohibited. FDOT type mountable median curb may be used around median dividers on the high side of pavement. All curbing designed to handle water shall incorporate an approved gutter design. There shall be a stabilized subgrade beneath all curbs and one foot beyond the back of curb.”

Request: The applicant is proposing install “Miami Curb” in the alleys only.

Justification: Provides mountable curb to support a 22’ drivable surface in conjunction with waiver #2.

DRC recommendation- DRC supports the proposed waiver request.

- 2) Waiver Request #2. The applicant is requesting a waiver from LDC 6.02.07 minimum street design and construction standards.

Request: The applicant is proposing a twenty-two (22) feet wide drivable surface within the alleys only.

Justification: Traditional New Development (TND) guidelines specify 15-foot paved surfaces within a 20-foot alley tract to service between 300-600 average daily trips (ADT). The Silver Oak two-way alleys serve a maximum of 14 lots 140 (ADT) and are not subject to pass through traffic. The proposed alley provides 22 feet of paved surface which is in excess of the TND design guidelines. Additionally, the peak traffic volumes occur in the AM and PM which does not coincide with the time of garbage pick-up service.

DRC recommendation - DRC supports the proposed waiver request.

PUBLIC HEARING SCHEDULE:

Planning Commission – April 12, 2016, 5:30 p.m.

City Council – May 4, 2016, 1:30 p.m.

RECOMMENDATION ACTION:

The **Development Review Committee** finds the Silver Oaks Subdivision Final Development Plan and Plat to be consistent with the Comprehensive Plan, Land Development Code, and the approved Silver Oak Master Plan and recommends the approval of the Silver Oaks Subdivision- Final Development Plan and to approve waiver requests, subject to submittal of a School Mitigation Agreement and School Capacity Enhancement Agreement with Orange County School Board.

The **Planning Commission**, at its meeting on April 12, 2016, found the Silver Oak Subdivision Final Development Plan and Plat to be consistent with the Comprehensive Plan, Land Development Code, and the approved Silver Oak Master Plan; and recommended approval (5-0) of the Silver Oaks Subdivision Final Development Plan and Plat and waiver requests, subject to submittal of a School Mitigation Agreement with Orange County School Board, for the property owned by Development Solutions SH, LLC and located north of East Keene Road, west of Sheeler Avenue.

City Council: Approval of the Silver Oaks Subdivision- Final Development Plan and Plat and waiver requests with the condition that a plat shall not be recorded until all School Mitigation Agreements have been approved by the Orange County School Board.

Approve the Final Development Plan/Plat and issue the Final Development Order for Silver Oaks Subdivision.

Note: This item is considered quasi-judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

Silver Oak Subdivision
50.83 +/- Acres
Proposed: 182 units

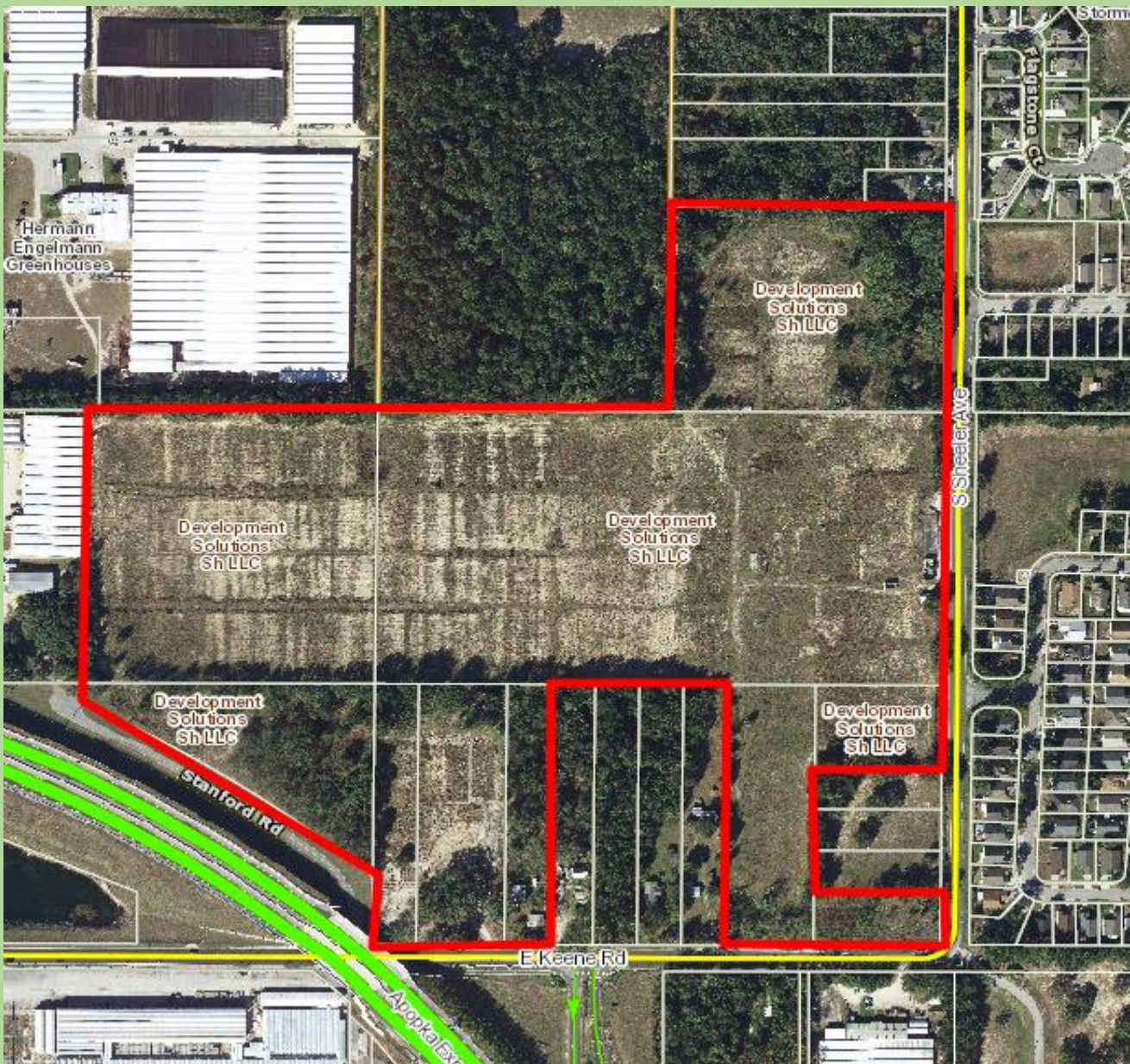
Parcel ID #s: 22-21-28-0000-00-078, 22-21-28-0000-00-079, 22-21-28-0000-00-081,
22-21-28-0000-00-082, 22-21-28-0000-00-105, 22-21-28-0000-00-108,
22-21-28-0000-00-109, 22-21-28-0000-00-114, 22-21-28-0000-00-117
and 22-21-28-0000-00-122



VICINITY MAP



AERIAL MAP



Final Development Plans

for

Silver Oak Subdivision

City of Apopka, FL

PR15-13



Legal Description:

(PER TITLE COMMITMENT NO. 5011612-2037-3303994)

PARCEL A:
TAX PARCEL 81: THE N 1/2 OF THE SE 1/4 OF SE 1/4, SECTION 22, TOWNSHIP 21 SOUTH, RANGE 28 EAST, ORANGE COUNTY, FLORIDA, LESS AND EXCEPT RIGHT OF WAY FOR S. SHEELER AV. ON THE EAST AND LESS AND EXCEPT THAT PART CONVEYED TO ORANGE COUNTY, FLORIDA BY THAT CERTAIN QUIT-CLAIM DEED RECORDED APRIL 22, 1998 IN OFFICIAL RECORDS BOOK 5464, PAGE 880, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.

AND

TAX PARCEL 105: WEST 290 FEET OF THE EAST 320 FEET OF SOUTH 1/2 OF SOUTHEAST 1/4 OF SOUTHEAST 1/4, SECTION 22, TOWNSHIP 21 SOUTH, RANGE 28 EAST, LESS THE SOUTH 560 FEET.

ALSO

THE NORTH 100 FEET OF THE SOUTH 560 FEET OF WEST 290 FEET OF THE EAST 320 FEET OF THE SOUTH 1/2 OF SOUTHEAST 1/4 OF SOUTHEAST 1/4, SECTION 22, TOWNSHIP 21 SOUTH, RANGE 28 EAST, ALL IN ORANGE COUNTY, FLORIDA, LESS AND EXCEPT RIGHT OF WAY FOR S. SHEELER AVE. ON THE EAST.

TAX PARCEL 109: THE NORTH 130 FEET OF THE SOUTH 180 FEET OF THE WEST 290 FEET OF THE EAST 320 FEET OF THE SOUTHEAST 1/4 OF THE SOUTHEAST 1/4, SECTION 22, TOWNSHIP 21 SOUTH, RANGE 28 EAST, ORANGE COUNTY, FLORIDA, LESS AND EXCEPT RIGHT OF WAY FOR S. SHEELER AV. ON THE EAST.

TAX PARCEL 82: THE SOUTH 495 FEET OF THE EAST 627 FEET OF THE SOUTHEAST 1/4 OF THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4, SECTION 22, TOWNSHIP 21 SOUTH, RANGE 28 EAST, ORANGE COUNTY, FLORIDA, LESS AND EXCEPT RIGHT OF WAY FOR S. SHEELER AV. ON THE EAST.

TAX PARCEL 79: THE NORTHEAST 1/4 OF THE SOUTHWEST 1/4 OF THE SOUTHEAST 1/4, SECTION 22, TOWNSHIP 21 SOUTH, RANGE 28 EAST, ORANGE COUNTY, FLORIDA.

TAX PARCEL 122: THE WEST 200 FEET OF THE EAST 520 FEET OF THE SOUTH 1/2 OF THE SE 1/4 OF THE SE 1/4, SECTION 22, TOWNSHIP 21 SOUTH, RANGE 28 EAST, ORANGE COUNTY, FLORIDA, LESS AND EXCEPT RIGHT OF WAY FOR KEENE RD. ON THE SOUTH.

PARCEL B:
THE SOUTH ONE-HALF OF THE SOUTHEAST ONE-QUARTER OF THE SOUTHEAST ONE-QUARTER OF SECTION 22, TOWNSHIP 21 SOUTH, RANGE 28 EAST, ORANGE COUNTY, FLORIDA, LESS THE EAST 1020 FEET AND THE SOUTH 30 FEET THEREOF.

FORMERLY DESCRIBED:

PARCEL 1: (TAX PARCEL 117)
THE WEST 100 FEET OF THE SOUTH HALF OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER (LESS THE SOUTH 30 FEET THEREOF)

AND

PARCEL 2: (TAX PARCEL 108)
THE WEST 200 FEET OF THE EAST 1220 FEET OF THE SOUTH HALF OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER (LESS THE SOUTH 30 FEET THEREOF), ALL IN SECTION 22, TOWNSHIP 21 SOUTH, RANGE 28 EAST, ORANGE COUNTY, FLORIDA.

PARCEL C:
ALL THE PART OF THE SOUTHEAST 1/4 OF THE SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 22, TOWNSHIP 21 SOUTH, RANGE 28 EAST, ORANGE COUNTY FLORIDA, LYING NORTHERLY OF ORANGE COUNTY EXPRESSWAY PER STIPULATED ORDER OF TAKING RECORDED IN OFFICIAL RECORDS BOOK 8997, PAGE 1835, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.

PARCEL D:
THE WEST 100 FEET OF THE EAST 1020 FEET OF THE SOUTH 1/2 OF THE SOUTHEAST 1/4 OF THE SOUTHEAST 1/4 (LESS THE SOUTH 30 FEET FOR ROAD), SECTION 22, TOWNSHIP 21, RANGE 28, ORANGE COUNTY, FLORIDA, SAID LANDS BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

ALSO DESCRIBED AS:
(OVERALL PARCEL)
A PORTION OF THE SOUTHEAST 1/4 OF SECTION 22, TOWNSHIP 21 SOUTH, RANGE 28 EAST, ORANGE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
COMMENCE AT THE SOUTHEAST CORNER OF THE SOUTHEAST 1/4 OF SAID SECTION 22; THENCE RUN N00°25'09"E ALONG THE EAST LINE OF THE SOUTHEAST 1/4 OF SAID SECTION 22, A DISTANCE OF 30.00 FEET; THENCE DEPARTING SAID EAST LINE RUN N89°49'53"W, A DISTANCE OF 30.00 FEET TO THE POINT OF BEGINNING, SAID POINT ALSO BEING ON THE NORTH RIGHT OF WAY LINE OF KEENE ROAD PER DEED BOOK 347, PAGE 367, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA; THENCE RUN N89°49'53"W ALONG SAID NORTH RIGHT OF WAY LINE, A DISTANCE OF 490.00 FEET TO THE WEST LINE OF THE EAST 320.00 FEET OF SAID SOUTHEAST 1/4; THENCE DEPARTING SAID NORTH RIGHT OF WAY LINE RUN N00°25'09"E ALONG SAID WEST LINE AS DESCRIBED IN OFFICIAL RECORDS BOOK 8251, PAGE 738, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA, A DISTANCE OF 628.66 FEET TO A POINT ON THE NORTH LINE OF THE SOUTH 1/2 OF THE SOUTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SAID SECTION 22; THENCE RUN N89°50'37"W ALONG SAID NORTH LINE, A DISTANCE OF 400.00 FEET; THENCE DEPARTING SAID NORTH LINE RUN S00°25'09"W ALONG THE WEST LINE OF THE EAST 320.00 FEET OF SAID SOUTH 1/2 OF THE SOUTHEAST 1/4 OF THE SOUTHEAST 1/4 AS DESCRIBED IN OFFICIAL RECORDS BOOK 10861, PAGE 5992, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA, A DISTANCE OF 628.57 FEET TO A POINT ON THE AFORESAID NORTH RIGHT OF WAY LINE OF KEENE ROAD; THENCE RUN N89°49'53"W ALONG SAID NORTH RIGHT OF WAY LINE, A DISTANCE OF 402.50 FEET TO A POINT ON THE EAST LINE OF THE SOUTHEAST 1/4 OF THE SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SAID SECTION 22; THENCE RUN N00°38'13"E ALONG SAID EAST LINE, A DISTANCE OF 263.08 FEET TO A POINT ON THE NORTHERLY RIGHT OF WAY LINE OF STATE ROAD 424 VARIABLE RIGHT OF WIDTH PER ORDER RIGHT OF WAY MAP PROJECT NO. 414-230, SAID POINT ALSO BEING ON A NON TANGENT CURVE CONCAVE SOUTHWESTERLY HAVING A RADIUS OF 3053.39 FEET; A CENTRAL ANGLE OF 143°37'04", A CHORD BEARING OF N57°08'04"W AND A CHORD DISTANCE OF 777.70 FEET; THENCE RUN NORTHWESTERLY ALONG THE ARC OF SAID CURVE, A DISTANCE OF 779.81 FEET TO THE END OF SAID CURVE AND A POINT ON THE WEST LINE OF THE EAST 1/2 OF THE SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SAID SECTION 22; THENCE RUN N00°41'46"E ALONG SAID WEST LINE, A DISTANCE OF 706.94 FEET TO THE NORTHWEST CORNER OF THE NORTHEAST 1/4 OF THE SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SAID SECTION 22; THENCE RUN N89°51'21"E ALONG SAID NORTH LINE, A DISTANCE OF 584.03 FEET TO A POINT ON THE WEST RIGHT OF WAY LINE OF SHEELER ROAD PER OFFICIAL RECORDS BOOK 5464, PAGE 880, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA; THENCE RUN ALONG SAID WEST RIGHT OF WAY LINE THE FOLLOWING EIGHT (8) COURSES: S00°25'09"W, A DISTANCE OF 495.01 FEET TO A POINT ON THE NORTH LINE OF THE SOUTHEAST 1/4 OF THE SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SAID SECTION 22; THENCE RUN N00°25'09"E ALONG SAID WEST LINE, A DISTANCE OF 495.01 FEET TO A POINT ON THE NORTH LINE OF THE SOUTH 1/2 OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SAID SECTION 22; THENCE RUN N00°25'09"E ALONG SAID WEST LINE, A DISTANCE OF 148.00 FEET; THENCE S01°03'47"W, A DISTANCE OF 267.03 FEET; THENCE S89°51'21"E, A DISTANCE OF 2.00 FEET; THENCE S00°25'09"W, A DISTANCE OF 213.00 FEET TO THE NORTH LINE OF THE SOUTH 1/2 OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SAID SECTION 22; THENCE N89°51'21"E ALONG SAID NORTH LINE, A DISTANCE OF 10.00 FEET; THENCE S00°25'09"W, A DISTANCE OF 198.75 FEET TO THE NORTH LINE OF THE SOUTH 1/2 OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SAID SECTION 22; THENCE DEPARTING SAID WEST RIGHT OF WAY LINE RUN N89°49'53"W, ALONG SAID NORTH LINE, A DISTANCE OF 290.00 FEET TO A POINT ON THE WEST LINE OF THE EAST 320.00 FEET OF SAID SOUTH 1/2 OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SAID SECTION 22; THENCE RUN S00°25'09"W, ALONG SAID WEST LINE, A DISTANCE OF 300.00 FEET TO THE NORTH LINE OF THE SOUTH 1/2 OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SAID SECTION 22; THENCE DEPARTING SAID WEST LINE RUN S89°49'53"E, ALONG SAID NORTH LINE, A DISTANCE OF 290.00 FEET TO A POINT ON THE AFORESAID WEST RIGHT OF WAY LINE OF SHEELER ROAD; THENCE RUN N00°25'09"W ALONG SAID WEST RIGHT OF WAY LINE, A DISTANCE OF 330.00 FEET TO THE POINT OF BEGINNING.

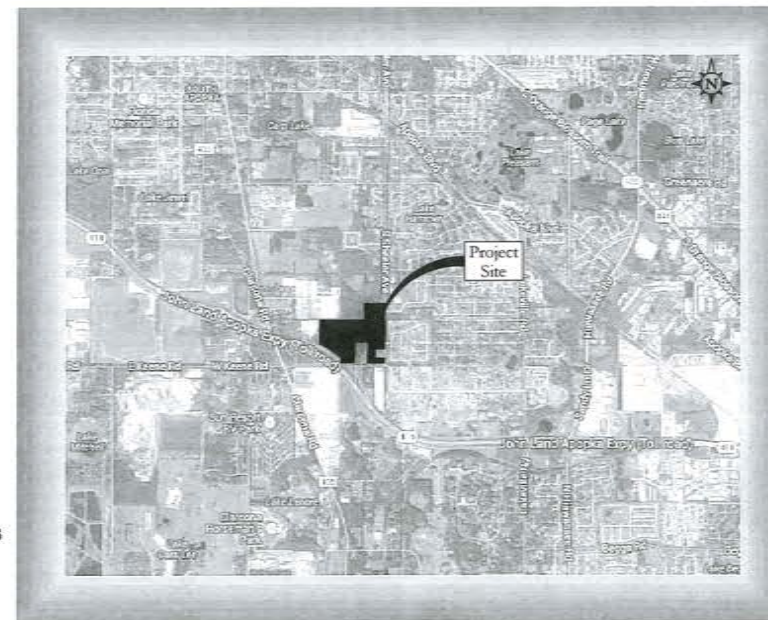
CONTAINING: 2,214.146.73 SQUARE FEET OR 50.830 ACRES MORE OR LESS.

Parcel Id. No.:

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 22-21-28-0000-00-082, 22-21-28-0000-00-105, 22-21-28-0000-00-108
 22-21-28-0000-00-109, 22-21-28-0000-00-114, 22-21-28-0000-00-117
 22-21-28-0000-00-122

Developer/Applicant:

Surrey Homes
 1133 Louisiana Ave., Suite 106
 Winter Park, Florida 32789



Vicinity Map
 Scale: 1" = 2,000'

Sheet Index		Subm./Rev.					
Sheet Id.	Sheet Title	1	2	3	4	5	6
C0.01	Construction Notes	■	■	■	■	■	■
C0.02	Existing Conditions	■	■	■	■	■	■
C0.03	Environmental Plan	■	■	■	■	■	■
C2.00	Master Plan	■	■	■	■	■	■
C2.01	Site Plan	■	■	■	■	■	■
C2.05	Development Design Standards	■	■	■	■	■	■
C2.06	Site Data	■	■	■	■	■	■
C2.10	Erosion Control & Demolition Plan	■	■	■	■	■	■
C3.00	Typical Sections & Details	■	■	■	■	■	■
C3.10	Parking Designation & Sight Distance Plan	■	■	■	■	■	■
C4.00	Grading Plan	■	■	■	■	■	■
C5.00	Master Drainage Plan	■	■	■	■	■	■
C5.01	Drainage Plan	■	■	■	■	■	■
C5.05	Master Wastewater Plan	■	■	■	■	■	■
C5.06	Wastewater Plan	■	■	■	■	■	■
C5.10	Master Water Distribution Plan	■	■	■	■	■	■
C5.11	Water Distribution Plan	■	■	■	■	■	■
C5.20	Master Reclaimed Water Distribution Plan	■	■	■	■	■	■
C5.21	Reclaimed Water Distribution Plan	■	■	■	■	■	■
C6.00	Plan & Profile	■	■	■	■	■	■
C8.00	Offsite Turn Lane	■	■	■	■	■	■
C9.10	General Construction Details	■	■	■	■	■	■
C9.20	Potable & Reclaimed Water Details	■	■	■	■	■	■
C9.30	Standard Wastewater Details	■	■	■	■	■	■
C9.40	Lift Station Details	■	■	■	■	■	■
Reference Drawings							
1	Boundary, Topography & Tree Inventory	■	■	■	■	■	■
1	Plan	■	■	■	■	■	■
L100	Overall Key Sheet	■	■	■	■	■	■
L101	Park & Recreation Master Plan	■	■	■	■	■	■
L102	Tree Removal & Replacement Plan	■	■	■	■	■	■
L201	Layout Plan	■	■	■	■	■	■
L301	Hardscape Details	■	■	■	■	■	■
L303	Site Furnishings	■	■	■	■	■	■
L401	Landscape Plan	■	■	■	■	■	■
L407	Entry Landscape Plan	■	■	■	■	■	■
L408	Planting Details & Notes	■	■	■	■	■	■
L500	Overall Irrigation Plan	■	■	■	■	■	■
L501	Irrigation Plan	■	■	■	■	■	■
L507	Entry Irrigation Plan	■	■	■	■	■	■
L508	Irrigation Details & Notes	■	■	■	■	■	■
A-1	Architectural Design Standards	■	■	■	■	■	■
		Date	Description				
1	11/09/2015	Submittal to City of Apopka					
2	02/22/2016	Submittal to City of Apopka/SJRWMD					
3	02/25/2016	Submittal to SJRWMD					
4	03/18/2016	Submittal to City of Apopka/ Orange County					

NOTE:

DEVELOPER SHALL OBTAIN A LETTER FROM THE FLORIDA FISH AND WILDLIFE CONSERVATION COMMISSION (FWCC) REGARDING THE WILDLIFE MANAGEMENT PLAN FOR THE GOPHER TORTOISES OR OTHER SPECIES ON SITE PRIOR TO ANY LAND CLEARING AND CONSTRUCTION ACTIVITIES OCCURRING ON SITE.

Civil Engineer:
Poulos & Bennett, LLC
 2602 E. Livingston St.,
 Orlando, FL 32803
 407.487.2594

Landscape Architect:
Bonnett Design Group, LLC
 151 Circle Drive
 Maitland, FL 32751
 407.622.1588

Geotech:
Yovash Engineering Services
 953 Sunshine Lane
 Altamonte Springs, FL 32714
 407.774.9383

Surveyor:
Dewberry
 520 South Magnolia Avenue
 Orlando, Florida 32801
 321.354.9826

Transportation Engineering:
Traffic Planning and Design, Inc.
 535 Versailles Drive, Suite 200
 Maitland, FL 32751
 407.628.9955

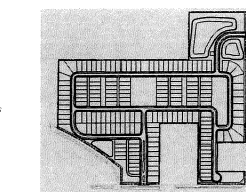


2602 E. Livingston St., Orlando, FL 32803
 Tel. 407.487.2594 www.poulosandbennett.com
 Eng. Bus. No. 28567
 P&B Job No.: 14-098

MARCELSAUSI STEWILL
 P.E. NO. 3678
 DATE: March 18, 2016

2/2014/14-098 SURVEY WORK - HELSON APOPKA/CAD/CIVIL/CITY/14-098-05

Key Map:



Consultant:

NO.	DATE	DESCRIPTIONS
4	03/18/2016	SUBMIT TO CITY OF APOPKA/ O.C.
3	02/26/2016	SUBMIT TO SJRWMD
2	02/22/2016	SUBMIT TO CITY OF APOPKA/SRWMD
1	01/14/2016	ORANGE COUNTY 12-10-15 COMMENTS
1	11/10/2015	SUBMIT TO CITY OF APOPKA

NO.	DATE	DESCRIPTIONS
		SUBMISSIONS/REVISIONS
VERTICAL DATUM: -		
JOB NO.:	14-098	
DESIGNED BY:	MG	
DRAWN BY:	MG/BW	
CHECKED BY:	MDS	
APPROVED BY:	MDS	
SCALE IN FEET:	1" = 100'	

Project Name:
SILVER OAK SUBDIVISION PR15-13

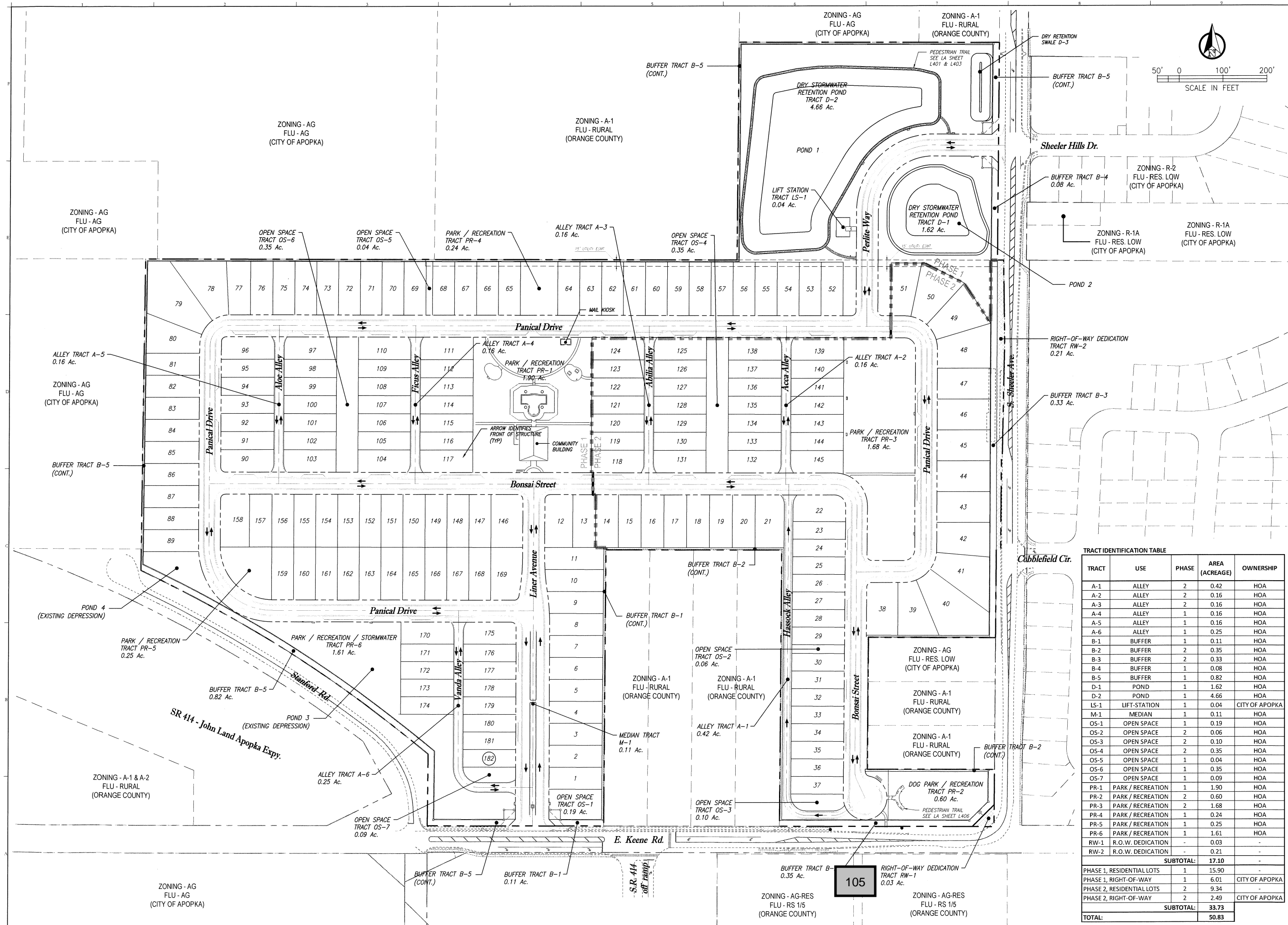
Submitted To:
 CITY OF APOPKA, FL
 Sheet Title:
MASTER PLAN

Sheet No.:
C2.00

Seal:
 MARC DANIEL STEHLI
 P.E. NO. 0652781
 DATE: March 18, 2016



Poulos & Bennett, LLC
 2602 E. Livingston St., Orlando, FL 32803
 Tel. 407-487-2594 www.poulosandbennett.com
 Eng. Bus. No. 28567



TRACT	USE	PHASE	AREA (ACREAGE)	OWNERSHIP
A-1	ALLEY	2	0.42	HOA
A-2	ALLEY	2	0.16	HOA
A-3	ALLEY	2	0.16	HOA
A-4	ALLEY	1	0.16	HOA
A-5	ALLEY	1	0.16	HOA
A-6	ALLEY	1	0.25	HOA
B-1	BUFFER	1	0.11	HOA
B-2	BUFFER	2	0.35	HOA
B-3	BUFFER	2	0.33	HOA
B-4	BUFFER	1	0.08	HOA
B-5	BUFFER	1	0.82	HOA
D-1	POND	1	1.62	HOA
D-2	POND	1	4.66	HOA
LS-1	LIFT-STATION	1	0.04	CITY OF APOPKA
M-1	MEDIAN	1	0.11	HOA
OS-1	OPEN SPACE	1	0.19	HOA
OS-2	OPEN SPACE	2	0.06	HOA
OS-3	OPEN SPACE	2	0.10	HOA
OS-4	OPEN SPACE	2	0.35	HOA
OS-5	OPEN SPACE	1	0.04	HOA
OS-6	OPEN SPACE	1	0.35	HOA
OS-7	OPEN SPACE	1	0.09	HOA
PR-1	PARK / RECREATION	1	1.90	HOA
PR-2	PARK / RECREATION	2	0.60	HOA
PR-3	PARK / RECREATION	2	1.68	HOA
PR-4	PARK / RECREATION	1	0.24	HOA
PR-5	PARK / RECREATION	1	0.25	HOA
PR-6	PARK / RECREATION	1	1.61	HOA
RW-1	R.O.W. DEDICATION	-	0.03	-
RW-2	R.O.W. DEDICATION	-	0.21	-
SUBTOTAL:			17.10	-
PHASE 1, RESIDENTIAL LOTS			1	15.90
PHASE 1, RIGHT-OF-WAY			1	6.01
PHASE 2, RESIDENTIAL LOTS			2	9.34
PHASE 2, RIGHT-OF-WAY			2	2.49
SUBTOTAL:			33.73	-
TOTAL:			50.83	-

105

Z:\2014\14-098 SUPRECY HOMES - NELSON APOPKA\CAD\FINAL\CITY\14-098-MP



Silver Oak

COMMUNITY LANDSCAPE ARCHITECTURE

APOPKA, FLORIDA

SHEET INDEX:

- L100 OVERALL KEY SHEET
- L101 PARK & RECREATION MASTER PLAN
- L102 TREE REMOVAL AND REPLACEMENT PLAN
- L103 TREE REMOVAL AND REPLACEMENT PLAN

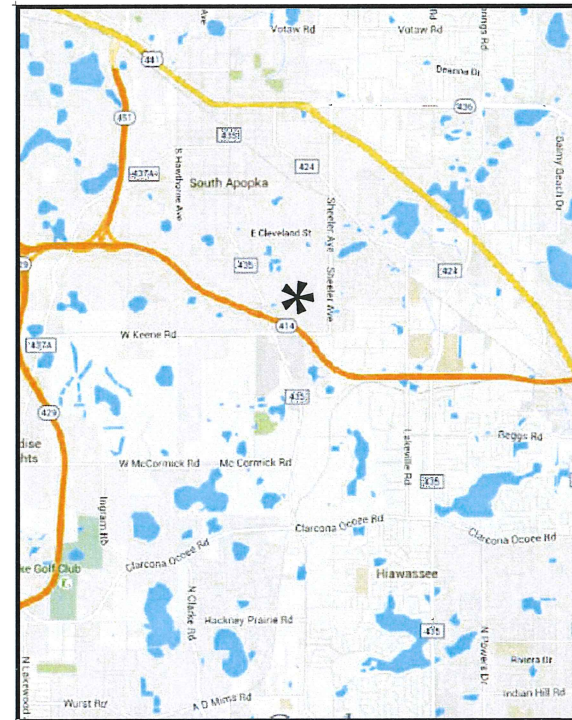
- L201 LAYOUT PLAN
- L202 LAYOUT PLAN

- L301 HARDSCAPE DETAILS
- L302 HARDSCAPE DETAILS
- L303 SITE FURNISHINGS

- L401 LANDSCAPE PLAN
- L402 LANDSCAPE PLAN
- L403 LANDSCAPE PLAN
- L404 LANDSCAPE PLAN
- L405 LANDSCAPE PLAN
- L406 LANDSCAPE PLAN
- L407 ENTRY LANDSCAPE PLAN
- L408 PLANTING DETAILS & NOTES

- L500 OVERALL IRRIGATION PLAN
- L501 IRRIGATION PLAN
- L502 IRRIGATION PLAN
- L503 IRRIGATION PLAN
- L504 IRRIGATION PLAN
- L505 IRRIGATION PLAN
- L506 IRRIGATION PLAN
- L507 IRRIGATION DETAILS & NOTES

Rev 2 March 18, 2016
 Rev 1 February 12, 2016
 August 28, 2015



LOCATION MAP
 not to scale

DEVELOPER / OWNER:
 A JV Entity to be Formed
 c/o Surrey Homes, LLC
 1133 Louisiana Avenue, Suite 106
 Winter Park, Florida 32789
 Contact: Brian Werling or Christian Swann
 Phone: 407-695-2222

LANDSCAPE ARCHITECT:
BONNETT DESIGN GROUP, LLC
 151 Circle Drive
 Maitland, FL 32751
 Contact: Todd W. Bonnett, RLA, LEED AP, CNU-a
 phone: 407.622.1588

IRRIGATION DESIGNER:
SPADE IRRIGATION DESIGN
 307 Dubsdread Circle
 Orlando, FL 32804
 Contact: Larry W. Spade, RLA, CID
 phone: 407.896.3904

PROJECT CIVIL ENGINEER:
POULOS & BENNETT
 4625 Halder Lane, Suite B
 Orlando, FL 32814
 Contact: Marc D. Stehli, P.E.
 407.487.2594

DRAWING PLOTTED: 3/16/2016 10:21:48 PM C:\SUNNY\SHARED\BONNETT DESIGN GROUP\2016\2015 112_SILVER OAK\COVERSHEET.DWG

2015.112



BONNETT design group, llc
 landscape architecture . community planning
 FL # LC26000341
 151 Circle Drive . Maitland, FL 32751
 407.622.1588 voice . 407.358.5363 fax
 www.BonnettDesignGroup.com



BONNETT design group, llc
landscape architecture
community planning
FL LC 26000341

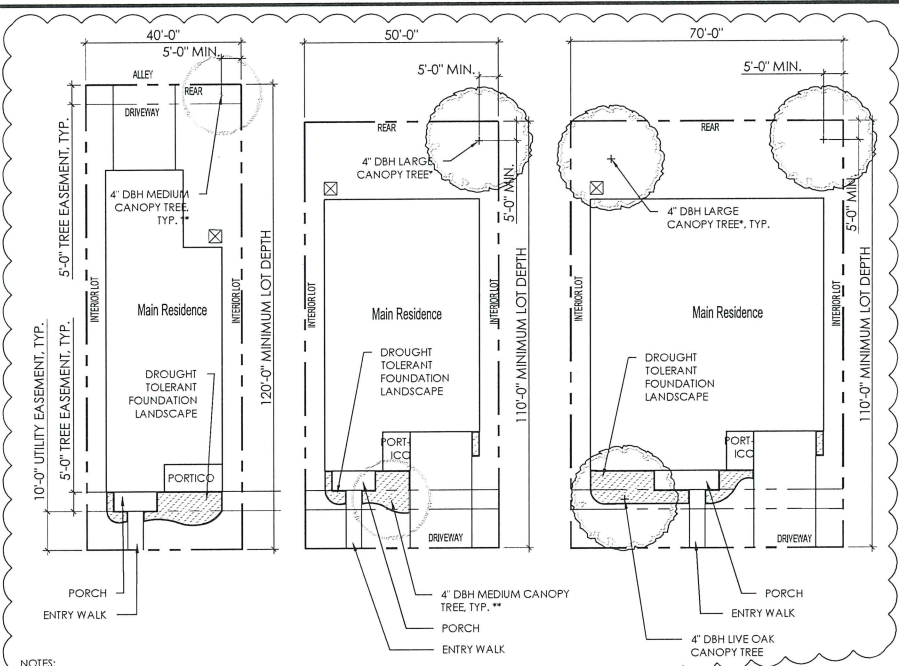
151 Circle Drive
Maitland, FL 32751
407.522.1588 voice
407.358.5363 fax

Silver Oak
Community Landscape Architecture
Surrey Homes, LLC
APOPKA, FLORIDA
LANDSCAPE PLAN

DATE: August 28, 2015
DRAWN BY: RCL/LAE
CHECKED BY: TWB
JOB NUMBER: 2015.112
FILE NAME: 2015112_SURREY_HOMES-SILVER_OAK_LA_BASE

REVISIONS:
City Comments 03-18-2016

L401



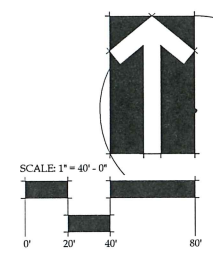
NOTES:
1. ALL SERVICE EQUIPMENT AND UTILITY BOXES MUST BE FULLY SCREENED.
2. ALL LOT TREES SHALL BE A MINIMUM 4" DBH.

- *LARGE CANOPY TREES INCLUDE:**
Acer barbatum Florida Maple
Acer rubrum Red Maple
Quercus shumardii Shumard Oak
Quercus virginiana Live Oak
Ulmus alata Winged Elm

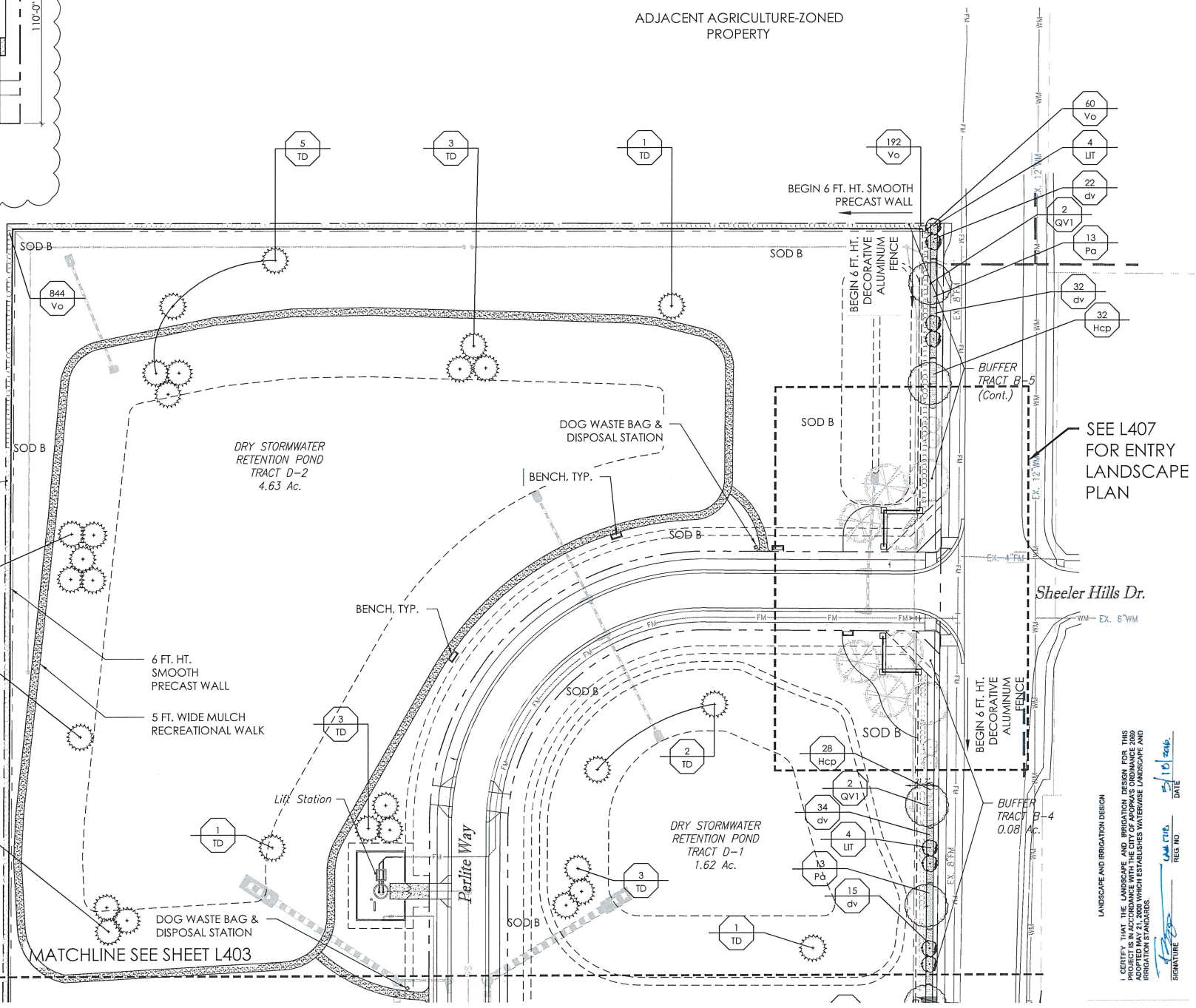
- **MEDIUM CANOPY TREES INCLUDE:**
Cercis canadensis Redbud
Eleocharis discipens Japanese Blueberry
Ilex x East Palatka East Palatka Holly
Ilex cassine Dahoon Holly
Ilex opaca American Holly
Lagerstroemia indica Cape myrtle
Tabebuia chrysofricha Gold Tabebuia
Tabebuia impetiginosa Purple Tabebuia

TYPICAL LOT LANDSCAPE PLAN
NOT TO SCALE

ADJACENT AGRICULTURE-ZONED PROPERTY



ADJACENT AGRICULTURE-ZONED PROPERTY

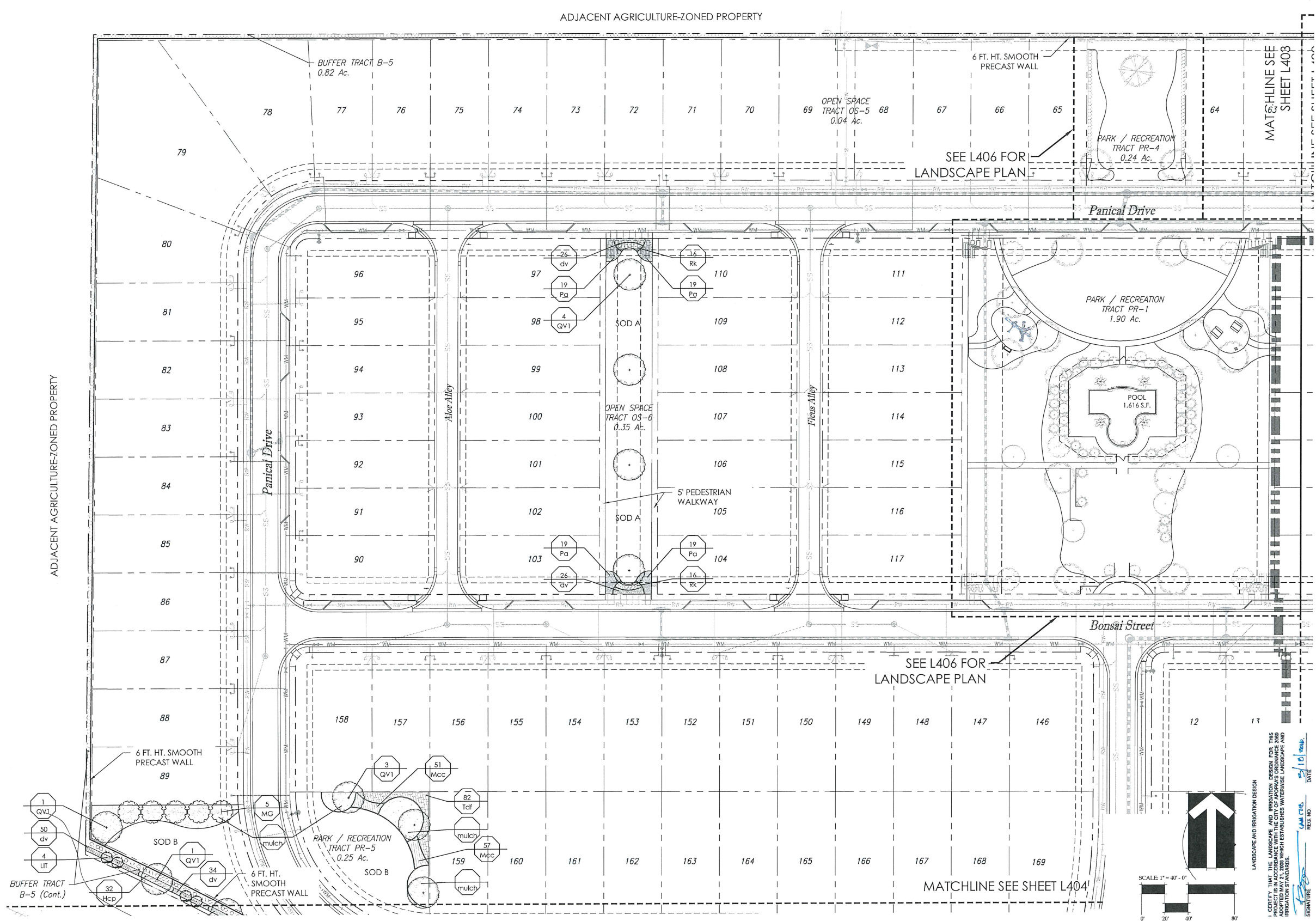


LANDSCAPE AND IRRIGATION DESIGN
I. PROPERTY: THIS LANDSCAPE AND IRRIGATION DESIGN FOR THIS PROJECT IS IN ACCORDANCE WITH THE CITY OF APOPKA ORDINANCE 2008 ADOPTED MAY 21, 2008 WHICH ESTABLISHES WATERWISE LANDSCAPE AND IRRIGATION PRACTICES.
SIGNATURE: [Signature] DATE: 8/10/2015
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CLIENT: SURREY HOMES COMMUNITY DEVELOPMENT, 2015.112, 151 CIRCLE DRIVE, APOPKA, FLORIDA 32706

DRAWING CREATED: 8/14/2015 10:54:51 AM
 CLIENT: SURREY HOMES SILVER OAK, APOPKA, FL
 PROJECT: SURREY HOMES SILVER OAK, APOPKA, FL
 SHEET: SURREY HOMES SILVER OAK, LA, L402



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Silver Oak
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 Surrey Homes, LLC
 APOPKA, FLORIDA
 LANDSCAPE PLAN

DATE: August 28, 2015
 DRAWN BY: RCL/LAE
 CHECKED BY: TWB
 JOB NUMBER: 2015.112
 FILE NAME: 2015112_SURREY_HOMES_SILVER_OAK_LA_BASE

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L402



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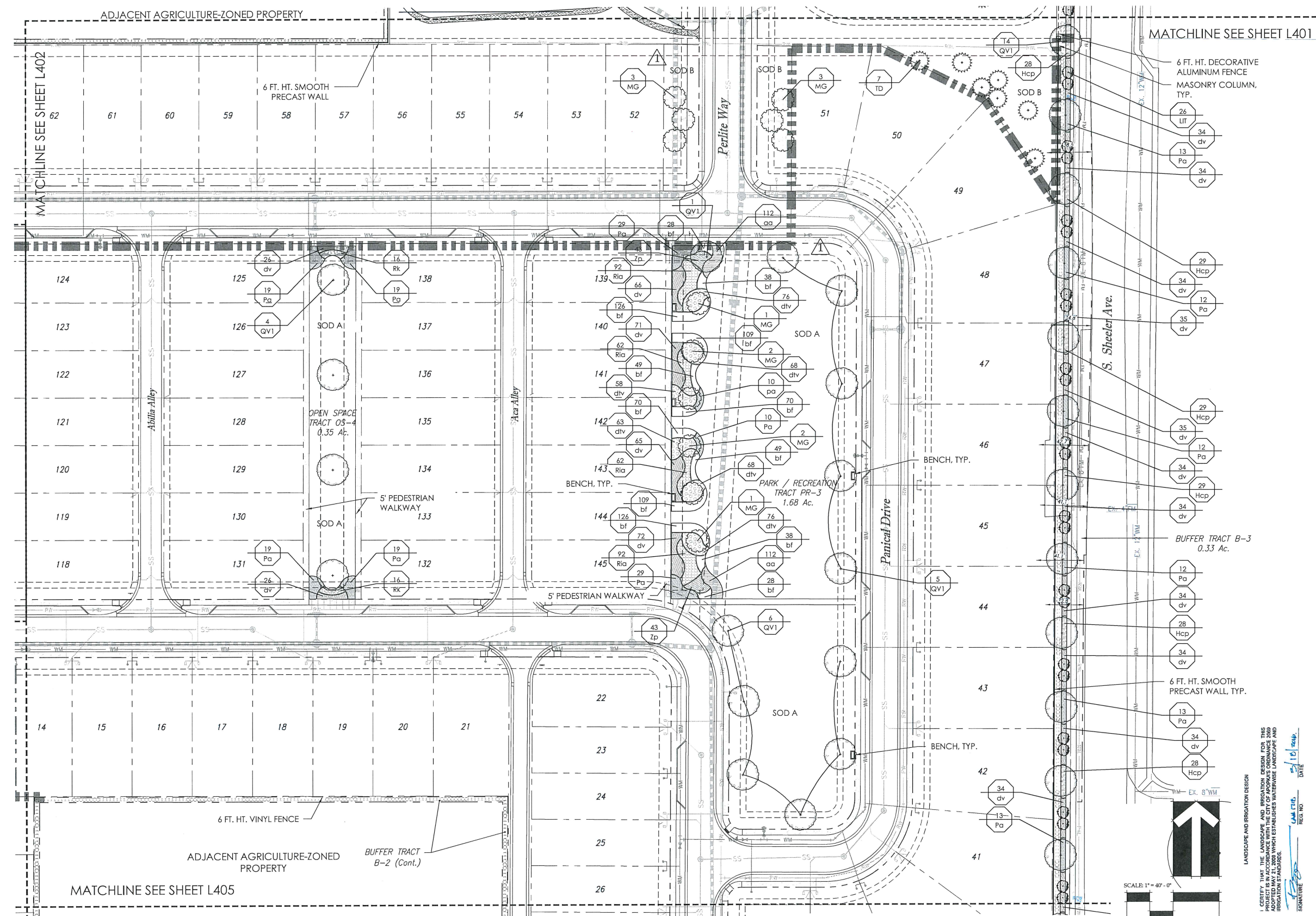
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DATE: August 28, 2015
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 CHECKED BY: TWB
 JOB NUMBER: 2015.112
 FILE NAME: 2015.112_SURREY_HOMES-SILVER_OAK_LA-BASE

REVISIONS:
 City Comments 02-12-2016

Todd W. Bonnett, RLA, F FLS00733

L403



LANDSCAPE AND IRRIGATION DESIGN
 I CERTIFY THAT THE LANDSCAPE AND IRRIGATION DESIGN FOR THIS PROJECT IS IN ACCORDANCE WITH THE CITY OF APOPKA'S ORDINANCE 2009 PROJECT MAY 21, 2009 WHICH ESTABLISHES WATERWISE LANDSCAPE AND IRRIGATION STANDARDS.
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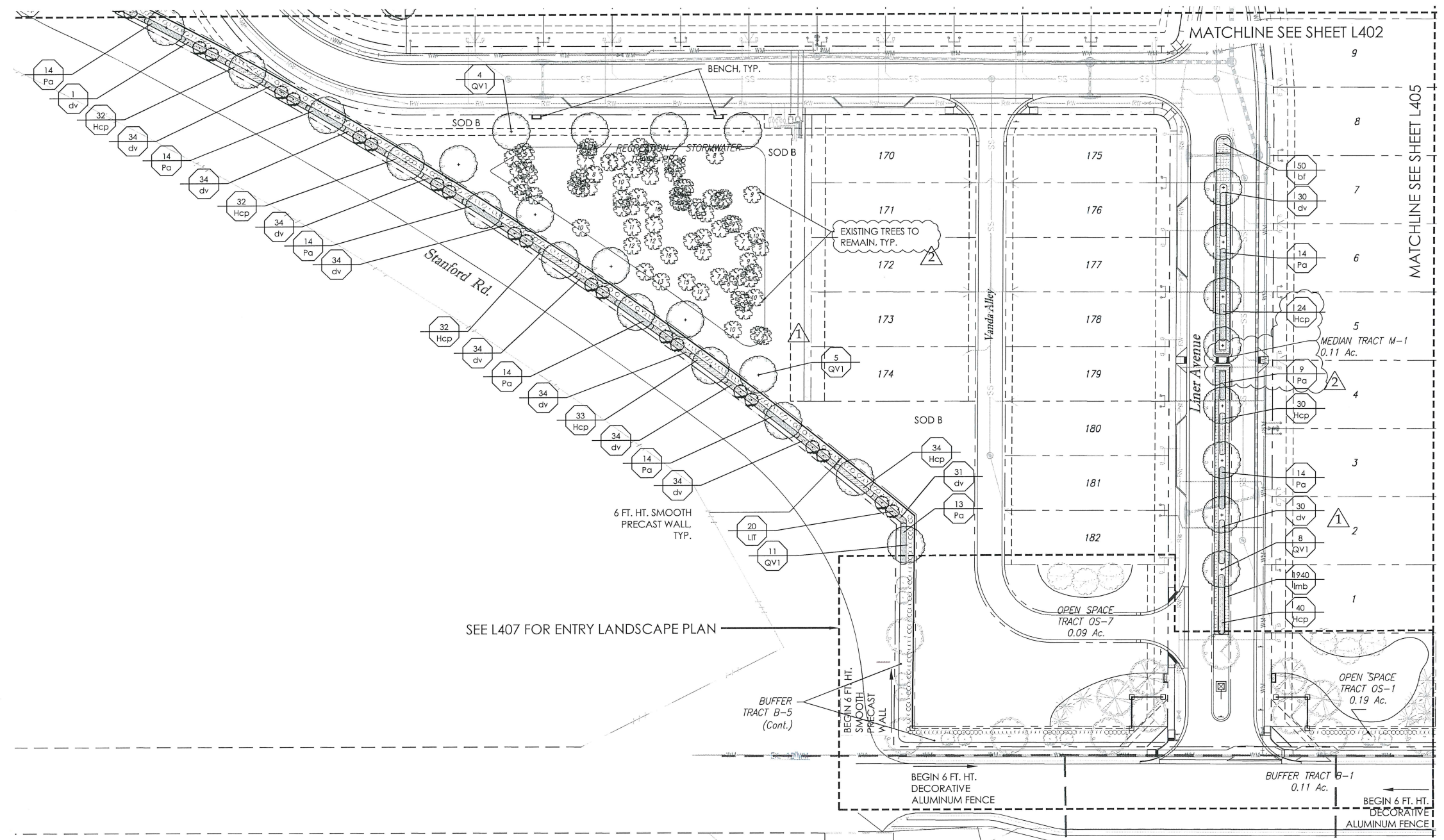
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DATE: August 28, 2015
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 FILE NAME: 2015112_SURREY_HOMES-SILVER_OAK_LA-BAE

REVISIONS:
 1 City Comments 02-12-2016
 2 City Comments 03-18-2016

Todd W. Bennett, R.L.A. F000718

L404



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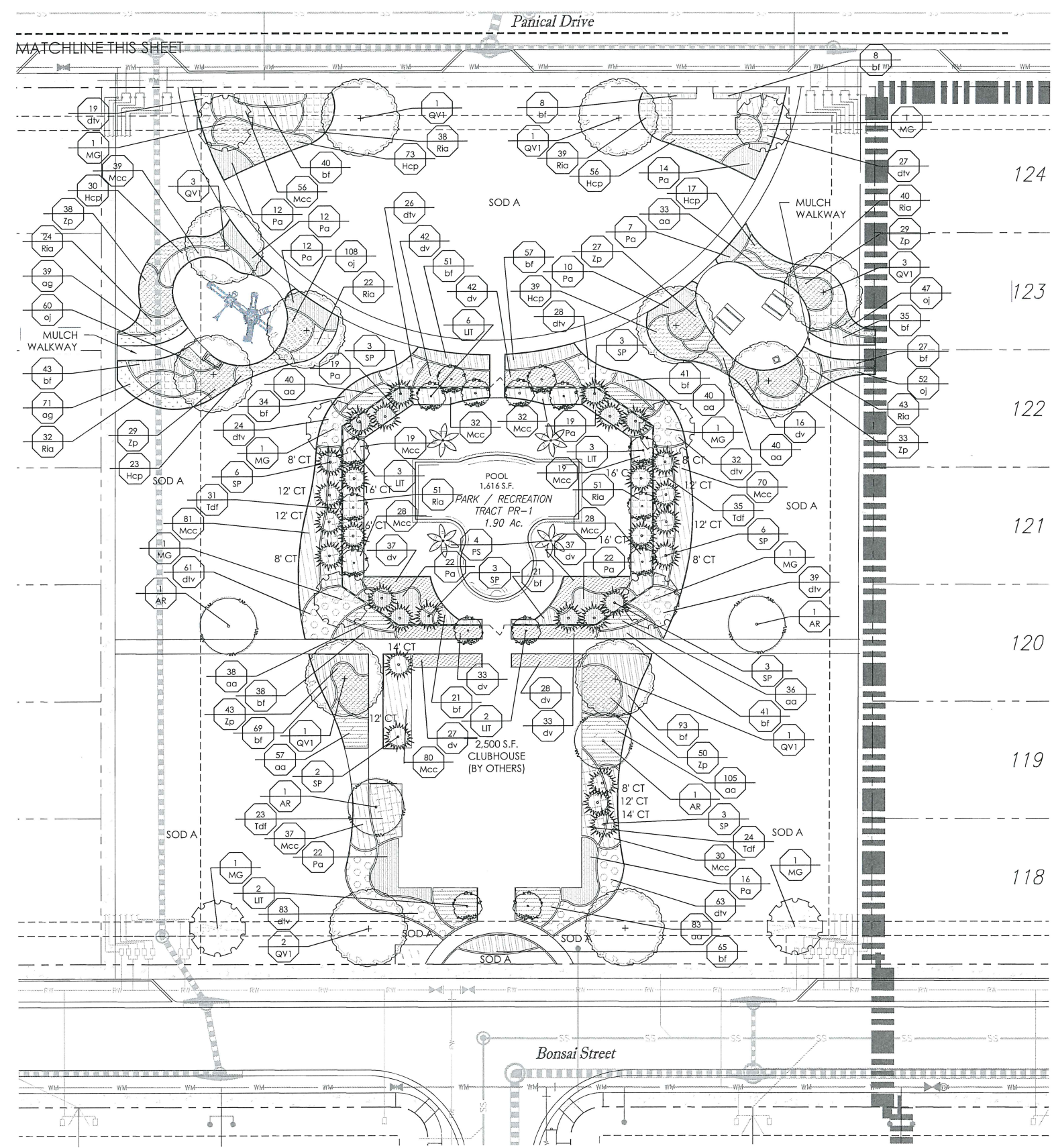
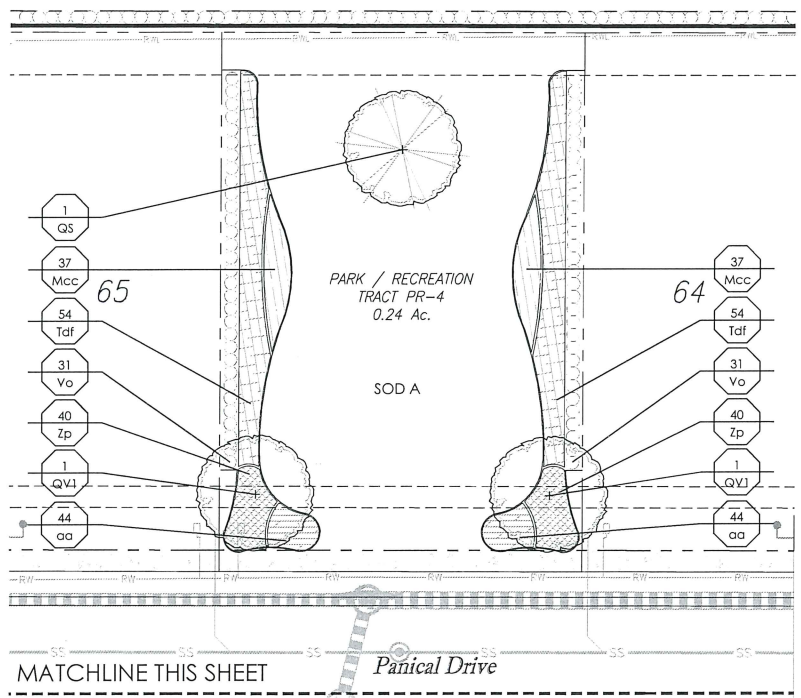
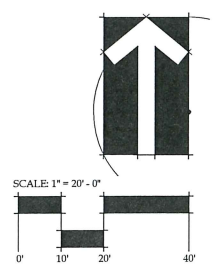
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GENERAL REQUIREMENTS

The Landscape Contractor shall be responsible for all materials and all work as called for on the landscape plans. The list of plant quantities accompanying the plans shall be used as guide only. If a discrepancy occurs between the plans and the plant list, the plans shall control.

The Landscape Contractor shall warranty all trees for a period of one (1) year and shrubs and ground covers for a period of six (6) months from the time of final acceptance by Owner and Landscape Architect.

The Landscape Contractor shall be wholly responsible for the stability and plumb condition of all trees and shall be legally liable for any damage caused by the instability of any plant material. Staking of trees and palms, if required, shall be done utilizing a method agreed upon by the Landscape Architect.

The Landscape Contractor shall research plans and contact appropriate agencies to determine the location of any utilities and obstructions prior to commencing work. Any utilities or unanticipated obstructions shall be reported to Landscape Architect or Owner immediately.

All plant material and sodded areas shall have an automatic underground irrigation system providing 100% coverage.

Positive drainage shall be maintained away from all structures on the site.

PLANT SPECIFICATIONS

All nursery stock plant material shall be Florida #1 or better in accordance with Grades and Standards for Nursery Plants Parts I & II, latest edition as published by the Florida Department of Agriculture and Consumer Services- Division of Plant Industry.

All plant material shall be planted, fertilized and mulched as per the plant details and planting specifications noted on the plans.

All container grown material shall be healthy, vigorous, well rooted plants, and established in the container in which they are delivered to the site. The plants shall have tops which are good quality and in a healthy growing condition. Established container grown plant material shall be grown in that container sufficiently long enough for the new fibrous roots to have developed enabling the root mass to retain its shape when removed the container. Plants which have become root bound in the container are unacceptable.

All plant material that is not container grown shall be freshly dug, sound, healthy, vigorous, well branched, and free of disease and insect eggs and larvae, and shall have adequate root systems. Where any requirements are omitted from the plant list, the plants furnished shall be normal for the variety. Plants may be pruned prior to delivery only upon the approval of the Landscape Architect.

FERTILIZER

Two fertilizers shall be used on all types of plantings, except palms. Granular fertilizer shall be uniform in composition, dry and free flowing. This fertilizer shall be delivered to the site in the original unopened bags bearing the manufacturer's statement of analysis. Granular fertilizer shall be a controlled release variety meeting the following requirements: sixteen percent (16%) nitrogen, four percent (4%) phosphorus, eight percent (8%) potassium, plus iron. Tablet fertilizer ("Agriform" or approved equal) in 21 gram size shall meet the following requirements: twenty percent (20%) nitrogen, ten percent (10%) phosphorus, five percent (5%) potassium.

Application Rates:

Plant size	16-4-8	"Agriform" tablet (21 grams)
1 gallon	1/4 lb.	1 tablet
3 gallon	1/3 lb.	2 tablets
7-15 gallon	1/2 lb.	4 tablets
1" - 6" caliper	2 lbs. per 1" caliper	2 tablets per 1" caliper
6" + caliper	3 lbs. per 1" caliper	2 tablets per 1" caliper

Sodded areas shall receive an application of the granular fertilizer (16-4-8) at a rate of 1/2 lb. of Nitrogen per 1,000 square feet of sod area.

"Palm Special" fertilizer shall be applied to all palms at installation at a rate of 1 1/2 lbs. per 100 square feet of canopy area. Palm fertilizer shall be a controlled release variety containing chelated micro nutrients and a ratio of N-P-K-Mg of 2:1:3:1.

SOIL

Planting soil for use in preparing the backfill material for planting pits shall be added a rate of fifty percent (50%) planting soil to fifty percent (50%) existing soil. This soil mix shall be used in all plant pits except Sabal Palms which shall be backfilled with clean sand. Planting soil shall be a fertile, friable natural topsoil of loamy character. It shall contain forty (40) to fifty (50) percent decomposed organic matter and be free of heavy clay, stones larger than 1" in diameter, noxious weeds and plants, sod, partially disintegrated debris, insects or any other undesirable material, plants or seeds that would be toxic or harmful to plant growth.

MULCH

All plant beds and tree watering basins shall be top dressed with three inches (3") of pine bark mini nuggets.

SOD

Refer to Landscape Plan for limits of sod.

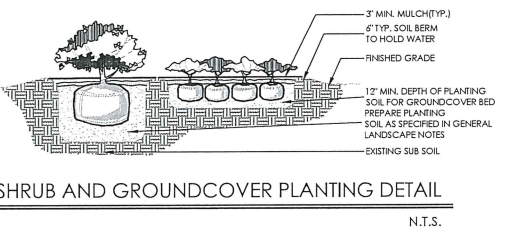
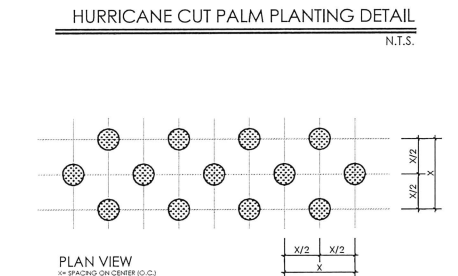
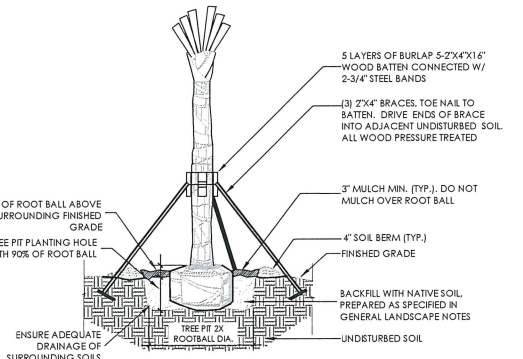
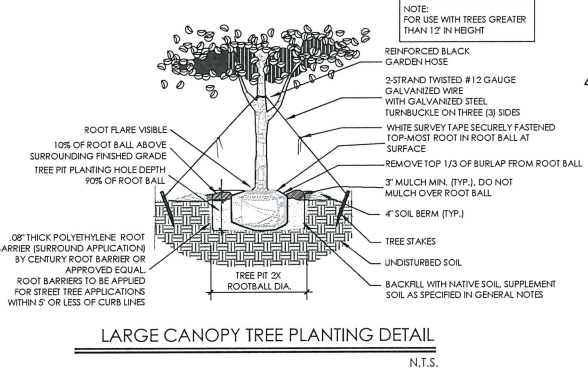
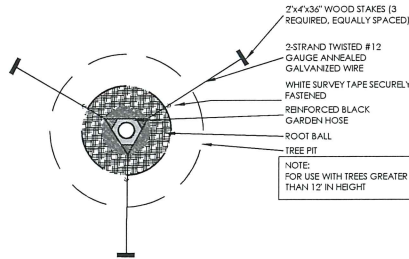
All areas disturbed by construction (including material staging, equipment storage, temporary facilities, site access, construction staff parking, etc.) beyond the minimum limits of sod as shown on the Landscape Plan shall be sodded as needed.

All lawn areas to receive sod shall be disked four (4) to six (6) inches and graded to establish a level finished grade ensuring positive drainage from all structures. All debris shall be removed from the site.

Sod shall be free of weeds and pests. It shall be laid evenly with tight fitting joints and rolled. The sod shall contain moist soil which does not fall apart or tear when lifted.

See plant list for specific sod species and locations.

See 'Fertilizer' for requirements of all sodded areas.



PLANT LIST

Symbol	Quantity	Botanical Name	Common Name	Specifications	Inches	Spacing	Native	Drought Tolerant
Common Trees								
AR	4	Acer rubrum	Red Maple	3.5" DBH, 12-14 ht. x 48" spd.	14	AS	yes	Medium
LIT	104	Logastoea indica 'Tuscarora'	Tuscarora Coral Cape Myrtle	3.5" DBH multi-trunk total, 9-10 x 5-6	354	AS	no	High
MG	31	Magnolia grandiflora 'D.D. Blanchard'	Southern Magnolia	3.5" DBH, 10-12 ht. x 4-5 spd.	108.5	AS	yes	Medium
PE	14	Pinus elliotii	Slash Pine	3.5" DBH, 8-10 ht.	49	AS	yes	High
QS	9	Quercus shumardii	Shumard Red Oak	3.5" DBH, 12-14 ht. x 5-6 spd.	31.5	AS	yes	High
QV1	111	Quercus virginiana	Live Oak (Buffers and Parks)	3.5" DBH, 12-14 ht. x 5x6 spd.	388.5	AS	yes	High
QV2	5	Quercus virginiana	18-20 Live Oak	6" DBH, min. 18" ht. x 10" spd. Match Hts.	30	AS	yes	High
TD	35	Taxodium distichum	Bald Cypress	3.5" DBH, 12-14 ht. x 48" spd.	122.5	AS	yes	High
	313	TOTAL COMMON TREES		COMMON INCHES PROVIDED	1108			
Single Family Lot Trees								
		Refer to Typical Lot diagram Sheet L401		4" DBH				
	305	TOTAL SINGLE FAMILY LOT TREES		LOT INCHES PROVIDED	1220			
	618	TREES PROVIDED		TOTAL INCHES	2328			
Palms								
PS	4	Phoenix sylvestris	Wild Date Palm	10' c.t. Heavy, matched specimen		AS	no	High
SP	35	Sabal palmetto	Cabbage Palm	6-16' CT staggered hts. see plan		AS	yes	High
Shrubs								
Hcp	975	Hamelia patens 'compacta'	Dwarf Firebush	3 gal, 18"-24"	24"	o.c.	no	Medium
Pa	795	Plumbago auriculata 'Imperial Blue'	Plumbago	3 gal, 20"-20"	36"	o.c.	no	Medium
Ria	817	Raphiolepis indica 'Alba'	Dwarf Indian Hawthorn	3 gal, 15"-18" spd.	24"	o.c.	no	Medium
Rk	64	Rosa spp.	Knockout roses	3 gal., 24"-30" oa	30"	o.c.	no	High
Vo	2848	Ybunum odoratissimum	Sweet Viburnum	7 gal., 30"-36" ht. x 36" spd.	30"	o.c.	no	Medium
Zm	12	Zamia maritima	Cardboard Palm	10 gal., 24" ht., 36" spd.	AS		no	High
Zp	754	Zamia pumila	Coonile	3 gal., 18" o.a.	24"	o.c.	yes	High
Grasses								
Mcc	1124	Muhlenbergia capillaris	Muhly Grass	1 gal., 24" ht., full pot	24"	o.c.	yes	High
Tdf	523	Tripsacum dactyloides	Fakahatchee	3 gal., 30" ht., full pot	36"	o.c.	yes	High
Groundcovers								
aa	1398	Agapanthus africanus	Lily of the Nile	1 gal., 28" ht., 18" spd., full pot	18"	o.c.	no	Medium
ag	311	Arachis glabra	Perennial Peanut	1 gal., full pot	18"	o.c.	no	High
bf	2117	Bulbine frutescens	Desert Candle / Bulbine	1 gal., 12"-15" spd., full pot	18"	o.c.	no	High
cf	191	Cytisium falcatum	Holly Fern	1 gal., 12"-15" spd., full pot	24"	o.c.	no	Medium
dvt	1266	Dianella tasmanica 'variegata'	Variegated Flax Lily	1 gal., 12"-15" spd., full pot	24"	o.c.	no	High
dvt	2270	Dietes vegeta	African Iris	1 gal. 2-3 ppp	24"	o.c.	no	High
lmb	1940	Loeope muscari 'Big Blue' (12-18" mature ht.)	Big Blue Lilyturf	4 pot, full	12"	o.c.	no	High
oj	1028	Ophiopogon japonicus	Mondo Grass	1 gal., full	12"	o.c.	no	Low
ta	410	Trachelospermum asiaticum	Asiatic Jasmine	1 gal., full pot	18"	o.c.	no	Medium
sod a		Cynodon dactylon 'Celebration'	Celebration Bermuda Sod	sand grown solid sod - weed free	solid		no	Medium
sod b		Paspalum notatum 'Argentine'	Argentine Bahia Sod	sand grown solid sod - weed free	solid		no	High

Notes: 1. All trees will be measured at D.B.H.
2. All service equipment and utility boxes must be fully screened.



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Silver Oak
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APOPKA, FLORIDA
PLANTING DETAILS & NOTES

DATE: August 28, 2015
DRAWN BY: RCL/LAE
CHECKED BY: TWB
JOB NUMBER: 2015.112
FILE NAME: 2015112_SURREY_HOMES-SILVER_OAK_LA-BAE

REVISIONS:
City Comments 02-12-2016
City Comments 03-18-2016

LANDSCAPE AND IRRIGATION DESIGN
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REG. NO.
SIGNATURE

L408

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A. DESIGN STANDARDS

1. LOT CRITERIA:

Table with 4 columns: DESCRIPTION, SINGLE FAMILY DETACHED (REAR LOADED), SINGLE FAMILY DETACHED (FRONT LOADED), SINGLE FAMILY DETACHED (FRONT LOADED). Rows include LOT SETBACKS (FRONT PORCH, FRONT, REAR, SIDE, SIDE CORNER, GARAGE, ACCESSORY STRUCTURE REAR) and LOT DIMENSIONS (MIN. AVERAGE LOT AREA, MIN. LOT WIDTH, MIN. LOT DEPTH, MAX. LOT COVERAGE, MAX BUILDING HEIGHT, MIN. LIVING AREA).

- (1) See Sheet "A-1" for depiction of conceptual individual site plans.
(2) Front porch setback as allowed per City of Apopka Development Design Guidelines 3.2.1.
(3) Minimum lot width may be reduced around curves so long as minimum lot width at the primary structure setback is achieved.
(4) 1500 SF minimum allowed on a maximum of (45) units of the (85) total Single-Family Detached (Rear Loaded) units (Lots 22-37, 96-145, 170-182). 1700 SF minimum required on a minimum of (137) units of the (182) total units within the community (75% required per Section 3.04.08 of Small Lot Overlay District Ordinance).

B. ARCHITECTURAL, BUILDINGS, AND ACCESSORY STRUCTURES

- 1. ARCHITECTURAL DESIGN SHALL MEET THE INTENT OF CITY OF APOPKA DEVELOPMENT DESIGN GUIDELINES AND SECTION 3.04.08 OF THE SMALL LOT OVERLAY DISTRICT ORDINANCE OR UNLESS OTHERWISE STATED.
2. ALL LOTS SHALL HAVE DETACHED SINGLE FAMILY HOMES.
3. ALL LOTS SHALL HAVE ATTACHED 2 CAR GARAGES.
4. FACE OF WALL CONTAINING A FRONT ENTRY GARAGE SHALL NOT EXTEND PAST THE FRONT BUILDING WALL. SETBACK TO WALL SHALL BE 30' MINIMUM FROM FRONT PROPERTY LINE.
5. NUMBER OF BEDROOM PER INDIVIDUAL HOME = (2) MINIMUM - (4) MAXIMUM
6. AC CONDENSER UNITS & SIMILAR EQUIPMENT SHALL BE PLACED IN THE REAR YARD AREA. UNITS & SIMILAR EQUIPMENT SHALL NOT BE PLACED INSIDE THE SIDE YARD BUILDING SETBACK. UNITS SHALL BE SCREENED FROM SIDE STREETS WITH LANDSCAPING OR OPAQUE FENCING. SEE SITE PLANS ON SHEET "A-1".
7. TRASH RECYCLE BIN PADS (MINIMUM 6'X4') SHALL BE PROVIDED WITHIN THE REAR YARD & ADJACENT TO DRIVEWAYS FOR LOTS 22-37, 90-145, & 170-182. SEE SITE PLANS ON SHEET "A-1".
8. STORAGE SHEDS OR SIMILAR STORAGE FACILITIES SHALL NOT BE ALLOWED.
9. SWIMMING POOLS SHALL BE ALLOWED ON SINGLE-FAMILY DETACHED (FRONT LOADED-MINIMUM 50' WIDE OR GREATER) LOTS.
a) SWIMMING POOLS MUST BE IN-GROUND TYPE. ABOVE GROUND POOLS ARE PROHIBITED.
b) SWIMMING POOLS AND DECKS ARE PROHIBITED FROM PROJECTING BEYOND THE SIDE WALL FACADE.
10. SCREEN ENCLOSURES OVER SWIMMING POOLS AND THEIR RESPECTIVE DECK AREA WITH NON-METAL OR NON-VINYL ROOFS SHALL BE ALLOWED ON SINGLE-FAMILY DETACHED (FRONT LOADED-MINIMUM 50' WIDE OR GREATER) LOTS.
a) SCREEN ENCLOSURES OVER SWIMMING POOLS AND THEIR RESPECTIVE DECK AREA SHALL BE SINGLE STORY WITH DOME OR ANGLED ROOFS. ENCLOSURE STRUCTURAL MEMBERS SHALL BE BRONZE. SCREENING SHALL BE DARK MESH. SOLID OPAQUE OR CLEAR PANELS ON THE WALLS OR ROOFS ARE PROHIBITED.
b) SCREEN ENCLOSURES WITH METAL, VINYL, OR SCREEN MESH ROOFS OVER NON-SWIMMING POOL DECKS ARE PROHIBITED.
11. MAIL DELIVERY FOR ALL LOTS SHALL OCCUR AT MAIL KIOSK WITH CLUSTER MAILBOX UNITS. MAIL KIOSK SHALL PROVIDE COVERED ROOF AREA FOR PROTECTION FROM INCLEMENT WEATHER. SEE SHEET "A-3" FOR STREET ELEVATION.
12. ARCHITECTURAL DESIGN STANDARDS:
a) SPANISH, TUSCAN, OR CRAFTSMAN ARCHITECTURAL STYLES OR THEMES SHALL BE APPLIED TO HOUSES, COMMUNITY BUILDINGS, AND MAIL KIOSK. ARCHITECTURAL STYLE ELEMENTS SHALL BE APPLIED TO FRONT FACADE ONLY. SEE SHEET "A-2" FOR CONCEPTUAL FRONT ELEVATIONS. MODIFICATION OR REPLACEMENT OF THE EXTERIOR ELEVATIONS ON SHEET "A-2" CAN BE APPROVED BY THE COMMUNITY DEVELOPMENT DIRECTOR IF SUCH CHANGES REPRESENT EQUIVALENT ARCHITECTURAL VALUE. SUBSTANTIAL DEVIATIONS FROM ARCHITECTURAL RENDERING MUST BE APPROVED BY CITY COUNCIL.
b) SIDE WALL FACADES ALONG SIDE YARD STREETS AT LOTS 12, 22, 38, 90, 96, 97, 103, 104, 110, 111, 117, 118, 124, 125, 131, 133, 138, 139, 145, 146, 158, 169, 170, and 175 AND ALONG REAR ELEVATIONS AT LOTS 38 - 54 SHALL HAVE ADDITIONAL EMBELLISHED WINDOW GRID PATTERNS AND WINDOW BANDING & TRIM TO MATCH THE FRONT ELEVATION WINDOWS.
c) FRONT FACADE MATERIALS SUCH AS CULTURED STONE VENEER, STUCCO, & FIBER CEMENT SIDING SHALL BE UTILIZED TO BE CONSISTENT WITH THE APPLICABLE ARCHITECTURAL STYLE.
d) MINIMUM ROOF PITCH SHALL BE 5 / 12.
e) 30 YEAR ASPHALT SHINGLE SHALL BE INSTALLED ON ALL ROOFS. 3-TAB SHINGLES ARE PROHIBITED. SINGLE SHINGLE COLOR SHALL BE USED FOR UNIFORMITY THROUGHOUT THE COMMUNITY.
f) ALUMINUM FASCIA AND SOFFIT SHALL BE STANDARD FOR ALL HOUSES. SINGLE FASCIA AND SOFFIT COLOR SHALL BE USED FOR UNIFORMITY THROUGHOUT THE COMMUNITY.
g) WINDOW BANDING/TRIM AND FRONT DOOR SHALL BE PAINTED AN ACCENT COLOR.
h) PAVERS SHALL BE INSTALLED AT FRONT YARD DRIVEWAYS, LEAD WALKS, PORCHES, AND PORTICOES.
13. FRONT BUILDING ENTRANCE ELEVATION DESIGN STANDARDS:
a) FRONT BUILDING ENTRANCE SHALL FEATURE A MINIMUM 5' DEEP (PER SECTION 3.04.08(4)) OF SMALL LOT OVERLAY DISTRICT ORDINANCE) PORCH OR PORTICO FLUSH OR PROJECTING BEYOND FRONT WALL OR SIMILAR FEATURE. PORCH WIDTHS SHALL BE MINIMUM OF 30% OF THE FRONT FACADE OVERALL WIDTH.
b) FRONT PORCHES & PORTICOES AT GRADE LEVEL.
c) MODEL PLAN TYPE SHALL NOT BE CONSTRUCTED ADJACENT TO THE SAME MODEL PLAN TYPE WITHOUT A DIFFERENT ELEVATION STYLE TYPE.
d) ELEVATION STYLE TYPES OF THE SAME STORY HEIGHT SHALL NOT BE CONSTRUCTED ADJACENT TO THE SAME ELEVATION STYLE TYPE. THE SAME ELEVATION STYLE TYPE OF VARYING STORY HEIGHTS SHALL NOT BE CONSTRUCTED ON THREE (3) CONSECUTIVE LOTS.
e) SPECIFIC ELEVATION STYLE TYPES SHALL HAVE SIMILAR WALL FINISHES, WINDOW GRID PATTERNS, WINDOW BANDING & TRIM, ROOF LINES AND SLOPES, ETC. APPLIED TO EACH LOT WIDTH MODEL PLAN TYPE FRONT ELEVATIONS.
f) IDENTICAL EXTERIOR PAINT SCHEMES SHALL NOT BE APPLIED ON ADJACENT LOTS.
g) MODIFICATION OR REPLACEMENT OF THE EXTERIOR ELEVATION ON SHEET "A-2" CAN BE APPROVED BY THE COMMUNITY DEVELOPMENT DIRECTOR IF SUCH CHANGES REPRESENT EQUIVALENT ARCHITECTURAL VALUE. SUBSTANTIAL DEVIATIONS FROM ARCHITECTURAL RENDERING MUST BE APPROVED BY CITY COUNCIL.

14. REAR ELEVATION FACING "SHEELER STREET" DESIGN STANDARDS:

- a) APPLICABLE TO LOTS 38 THRU 51 ONLY.
b) SEE EXTERIOR ELEVATIONS ON SHEET "A-2".
c) SINGLE STORY LANAIS SHALL BE REQUIRED ON ANY TWO STORY HOME TO ELIMINATE BOX ON BOX APPEARANCE.
d) SINGLE STORY HOMES SHALL HAVE GABLE ENDS AT LANAI'S OR JOGS IN REAR WALL FAÇADE TO ELIMINATE CONTINUOUS HORIZONTAL FASCIA LINE AND SINGLE HIP ROOF PLANE.
e) LARGE EXPANSES OF SOLID WALL SHALL BE AVOIDED THRU USE OF WINDOWS, WALL FEATURES, OR WALL / ROOF JOGS.
f) WINDOW GRID PATTERNS AND WINDOW BANDING & TRIM SHALL MATCH FRONT ELEVATION WINDOWS.
g) WINDOW STYLE TYPES OF THE SAME STORY HEIGHT SHALL NOT BE CONSTRUCTED ADJACENT TO THE SAME ELEVATION STYLE TYPE. THE SAME ELEVATION STYLE TYPE OF VARYING STORY HEIGHTS SHALL NOT BE CONSTRUCTED ON THREE (3) CONSECUTIVE LOTS.
h) IDENTICAL EXTERIOR PAINT SCHEMES SHALL NOT BE APPLIED ON ADJACENT LOTS.
i) MODIFICATION OR REPLACEMENT OF THE EXTERIOR ELEVATION ON SHEET "A-3" CAN BE APPROVED BY THE COMMUNITY DEVELOPMENT DIRECTOR IF SUCH CHANGES REPRESENT EQUIVALENT ARCHITECTURAL VALUE. SUBSTANTIAL DEVIATIONS FROM ARCHITECTURAL RENDERING MUST BE APPROVED BY CITY COUNCIL.
15. MAIL KIOSK ELEVATION DESIGN STANDARDS:
a) ELEVATION SHALL BE COMPATIBLE WITH THE ARCHITECTURAL ELEVATION STYLES OF THE HOMES & MAIL KIOSK WITHIN THE COMMUNITY. SEE SHEET "A-3".
b) MODIFICATION OR REPLACEMENT OF THE EXTERIOR ELEVATION ON SHEET "A-3" CAN BE APPROVED BY THE COMMUNITY DEVELOPMENT DIRECTOR IF SUCH CHANGES REPRESENT EQUIVALENT ARCHITECTURAL VALUE. SUBSTANTIAL DEVIATIONS FROM ARCHITECTURAL RENDERING MUST BE APPROVED BY CITY COUNCIL.
16. COMMUNITY BUILDING ELEVATION DESIGN STANDARDS:
a) ELEVATION SHALL BE COMPATIBLE WITH THE ARCHITECTURAL ELEVATION STYLES OF THE HOMES & MAIL KIOSK WITHIN THE COMMUNITY. SEE SHEET "A-3".
b) MODIFICATION OR REPLACEMENT OF THE EXTERIOR ELEVATION ON SHEET "A-3" CAN BE APPROVED BY THE COMMUNITY DEVELOPMENT DIRECTOR IF SUCH CHANGES REPRESENT EQUIVALENT ARCHITECTURAL VALUE. SUBSTANTIAL DEVIATIONS FROM ARCHITECTURAL RENDERING MUST BE APPROVED BY CITY COUNCIL.
17. INDIVIDUAL LOT FRONT & REAR YARD FENCING STANDARDS:
a) COMMUNITY PERIMETER FENCING NOT INCLUDED. SEE APPLICABLE LANDSCAPE PLAN SHEET L201-L205.
b) SEE SHEET "A-1" FOR CONCEPTUAL FENCING PLANS.
c) FENCING IS PROHIBITED IN FRONT YARDS.
d) FENCING AT REAR YARDS OF REAR ALLEY LOADED LOTS (LOTS 22-37, 90-145, 170-182) SHALL BE ALUMINUM WROUGHT IRON GRATE STYLE FENCING. SEE SHEET "A-1" FOR ILLUSTRATION.
e) FENCING AT REAR YARDS OF REAR ALLEY LOADED LOTS (LOTS 22-37, 90-145, 170-182) SHALL BE SETBACK AT LEAST TWO FEET FROM THE ALLEY AND DRIVEWAY. SEE SHEET "A-1" FOR ILLUSTRATION.
f) FENCING AT REAR YARDS OF 50' WIDE OR GARAGE FRONT LOADED LOTS SHALL BE TAN VINYL OPAQUE STYLE FENCING. SEE SHEET "A-1" FOR ILLUSTRATION.
g) MAXIMUM HEIGHT = 5'-0" ABOVE FINAL GRADE. NO FENCE SHALL EXCEED THE HEIGHT OF AN ABUTTING COMMON AREA WALL.
h) REAR YARD FENCES SHALL NOT PROJECT MORE THAN 5' BEYOND REAR SIDE WALL BUILDING CORNER.

C. UTILITIES AND INFRASTRUCTURE

- 1. WATER SERVICE SHALL BE PROVIDED BY THE CITY OF APOPKA. THE WATER SYSTEM SHALL BE DESIGNED TO CITY STANDARDS.
2. RECLAIM WATER SERVICE SHALL BE PROVIDED BY THE CITY OF APOPKA. THE RECLAIM WATER SYSTEM SHALL BE DESIGNED TO CITY STANDARDS.
3. STORM WATER MANAGEMENT SYSTEM SHALL BE DESIGNED TO COMPLY WITH THE REQUIREMENTS OF THE CITY OF APOPKA AND ST. JOHNS RIVER WATER MANAGEMENT DISTRICT FOR PROJECTS WITHOUT A POSITIVE OUTFALL.
4. A FINAL DRAINAGE REPORT AND SOILS REPORT WILL BE SUBMITTED WITH FINAL DEVELOPMENT PLANS.
5. SANITARY SERVICE SHALL BE PROVIDED BY THE CITY OF APOPKA. THE SANITARY SYSTEM SHALL BE DESIGNED TO CITY STANDARDS.
6. UTILITY EASEMENTS SHALL BE DEDICATED TO THE CITY OF APOPKA.
7. DRAINAGE EASEMENTS TO BE DEDICATED TO THE HOME OWNERS ASSOCIATION UNLESS OTHERWISE ACCEPTED BY THE CITY OF APOPKA.
8. ALL STORM WATER AND UTILITY PIPES MAY BE MOVED TO SAVE EXISTING TREES IN THE RIGHT-OF-WAY. ANY CHANGE IN THE LOCATION OF THESE PIPES WILL BE SHOWN ON THE FINAL ENGINEERING PLANS.
9. ON-SITE STREETS ARE TO BE CONSTRUCTED PER CITY OF APOPKA STANDARDS.
10. A SIGNAGE PLAN WILL BE PROVIDED WITH THE FINAL DEVELOPMENT PLAN SUBMITTAL.
11. STABILIZED ACCESS ROADWAYS AND FIRE HYDRANTS MUST BE IN PLACE BEFORE BUILDING CONSTRUCTION MAY BEGIN.
12. SOLID WASTE COLLECTION AND PUBLIC SAFETY (POLICE AND FIRE) PROVIDED BY THE CITY OF APOPKA.
13. THE INTERNAL STREET RIGHT-OF-WAY IS TO BE PUBLIC.
14. A FIVE (5) FOOT WIDE SIDEWALKS TO BE CONSTRUCTED ADJACENT TO INTERNAL ROADS THROUGHOUT THE ENTIRE PROJECT IN COMPLIANCE WITH THE CITY OF APOPKA LAND DEVELOPMENT CODE. SIDEWALK ALIGNMENT MAY BE ADJUSTED AT FINAL DEVELOPMENT PLAN TO PRESERVE EXISTING TREES.
15. A FIVE-FOOT WIDE SIDEWALK SHALL BE CONSTRUCTED WITHIN THE RIGHT-OF-WAY ALONG SHEELER ROAD IN FRONT OF PARCEL ID'S 22-21-28-0000-00-140, 194 AND 111.
16. RIGHT-OF-WAY DEDICATION ALONG E. KEENE ROAD AND SHEELER AVENUE SHALL BE AS DEPICTED ON SHEET C2.00 OR THE SILVER OAK MASTER PLAN.
17. SILVER OAKS HOA SHALL NOT OBJECT TO PARCEL ID'S 22-21-28-0000-00-140, 194 AND 111 LOCATED ALONG SHEELER ROAD TO ACCESSING BONSAI STREET. THESE PARCELS SHALL BE ALLOWED TO BECOME PART OF THE SILVER OAKS COMMUNITY AND HOA IF SUCH ABUTTING PARCELS ACCESS BONSAI STREET, THE DEVELOPMENT OF THESE PARCELS SHALL OCCUR CONSISTENT WITH THE DEVELOPMENT DESIGN STANDARDS SET FORTH IN THE SILVER OAKS PUD MASTER PLAN.
18. LOT PARKING SHALL BE PROVIDED AT A RATE OF 4 PARKING SPACES PER DWELLING UNIT. PROVIDED PARKING SHALL AT A MINIMUM CONTAIN 2 PARKING SPACES WITHIN THE DRIVEWAY AND 2 PARKING SPACES WITHIN AN ENCLOSED GARAGE.
19. THE DEVELOPMENT SHALL PROVIDE A MINIMUM OF 50 ON-STREET PARALLEL PARKING SPACES.
20. GARAGES SHALL BE ACCESS FROM THE ADJACENT PUBLIC RIGHT-OF-WAY AT THE FRONT OF THE LOT FOR LOTS 1-21, 38-89 AND 146-169.
21. GARAGES SHALL BE ACCESSED FROM THE ADJACENT ALLEY TRACT AT THE REAR OF THE LOT FOR LOTS 22-37, 90-145 AND 170-182.
22. ALL ALLEY TRACTS SHALL BE PROPOSED AS ONE-WAY TRAVEL LANES.
23. POWER SERVICE WITHIN THE DEVELOPMENT SHALL BE UNDERGROUND. NO OVERHEAD SERVICE WILL BE ALLOWED.
24. VEHICULAR, PEDESTRIAN AND ACCENT LIGHTING SHALL SUBSTANTIALLY CONFORM THE SECTION 3.10 - LIGHTING OF THE CITY OF APOPKA DEVELOPMENT DESIGN GUIDELINES.
25. MOBILITY STANDARDS - BASED UPON THE DEVELOPMENT'S DAILY TRIP GENERATION OF 1,859 VEHICLES, THE PROVISION OF TWELVE (12) MOBILITY STANDARDS IS REQUIRED. THE DEVELOPMENT IS PROPOSING THE FOLLOWING MOBILITY STANDARDS TO FULFILL THIS REQUIREMENT:
i. SHEELER ROAD LEFT TURN LANE
ii. KEENE ROAD LEFT TURN LANE
iii. SHEELER ROAD/KEENE ROAD CORNER RIGHT-OF-WAY DEDICATION
iv. SHEELER ROAD RIGHT-OF-WAY DEDICATION
v. CONSTRUCT APPROXIMATELY 300 LF SIDEWALK ON SHEELER ACROSS THE VACANT OUTPARCEL AT SHEELER ROAD AND KEENE ROAD
vi. CONSTRUCT APPROXIMATELY 150 LF SIDEWALK WEST SIDE OF SHEELER FROM LA GRAN VIA LANE TO SHEELER OAKS DRIVE
vii. PROVIDE A PEDESTRIAN GATE FROM CUL-DE-SAC/DOG PARK TO KEENE ROAD SIDEWALK
viii. PROVIDE CROSSWALK STRIPING ACROSS SHEELER HILLS DRIVE
ix. PROVIDE CROSSWALK STRIPING ACROSS STANFORD DRIVE
x. PROVIDE ADDITIONAL BIKE PARKING WITHIN THE DEVELOPMENT (1 OR MORE CREDITS)
xi. PROVIDE PEDESTRIAN SEATING AT PROJECT ENTRANCES (1 OR MORE CREDITS)
xii. HOA TO PROMOTE RIDE SHARING PROGRAM

D. RECREATION AND OPEN SPACE

- 1. REQUIRED PROJECT OPEN SPACE SHALL BE A MINIMUM OF 30% OF THE DEVELOPED SITE AREA IN ACCORDANCE WITH CITY OF APOPKA SMALL LOT OVERLAY ZONING DISTRICT SECTION 3.04.00(4)(A) AND LDC SECTION 2.02.18(0)(19).
2. REQUIRED PROJECT RECREATION SHALL BE PROVIDED AT A RATE OF 3.6 ACRES PER 1,000 POPULATION WITH 2.6 POPULATION PER DWELLING UNIT.
3. RECREATION TRACT "PR-1" SHALL BE AN APPROXIMATE 1.89 ACRE COMMUNITY CENTER AND SHALL BE COMPLETED PER NOTE #6. A SPECIFIC PARK SITE PLAN AND AMENITIES/EQUIPMENT SHALL BE PROVIDED WITH THE FINAL DEVELOPMENT PLAN. COMMUNITY CENTER AREA AMENITIES SHALL INCLUDE A SINGLE STORY COMMUNITY BUILDING, SWIMMING POOL AND DECK, AND MAIL KIOSK AT A MINIMUM. THE COMMUNITY BUILDING SHALL BE MINIMUM OF 2500 SF CONTAINING A MULTI-PURPOSE ROOM, KITCHENETTE (NO GAS APPLIANCES), STORAGE ROOM, RESTROOM FACILITIES FOR THE BUILDING AND POOL, SCREENED LANAI AREA, AND UNSCREENED LANAI AREA. THE SWIMMING POOL AND DECK AREA SHALL BE A MINIMUM OF 3200 SF AND WATER AREA OF A MINIMUM OF 1400 SF.
4. RECREATION TRACT "PR-2" SHALL BE AN APPROXIMATE 0.60 ACRE DOG PARK AND SHALL BE COMPLETED CONCURRENT WITH PHASE 2 OF THE DEVELOPMENT. A SPECIFIC PARK SITE PLAN AND AMENITIES/EQUIPMENT SHALL BE PROVIDED WITH THE FINAL DEVELOPMENT PLAN. DOG PARK AREA SHALL BE ENCLOSED AND AMENITIES SHALL INCLUDE AT A MINIMUM ONE (1) DOG WASTE BAG & DISPOSAL STATION, ONE (1) DOG DRINKING FOUNTAIN, SIX (6) SEATING BENCHES AND A WALKWAY.
5. RECREATION TRACTS 3-6 WILL INCORPORATE PEDESTRIAN CIRCULATION, BENCHES, AND OPEN PLAY AREAS. SPECIFIC PARK SITE PLANS AND AMENITIES/EQUIPMENT SHALL BE PROVIDED WITH THE FINAL DEVELOPMENT PLAN.
6. THE PHASING OF ALL OPEN SPACE AND PARKS AND RECREATION TRACTS SHALL BE CONSISTENT WITH THAT DEPICTED ON THE PARK TRACTS AND OPEN SPACE TRACTS TABLES AS SHOWN ON THE SITE DATA SHEET C2.02. COMPLETION OF PHASE 1-PARKS AND RECREATION FACILITIES SHALL BE DONE BY THE ISSUANCE OF THE FIFTIETH (50) CERTIFICATE OF OCCUPANCY WITHIN PHASE 1 HOUSES. COMPLETION OF PHASE 2 - PARKS AND RECREATION FACILITIES SHALL BE DONE BY THE ISSUANCE OF THE FIFTIETH (50) CERTIFICATE OF OCCUPANCY WITHIN PHASE 2 HOUSES.

E. BUFFERS AND LANDSCAPING

- 1. A FIFTEEN (15) FOOT BUFFER TRACT FOR PERIMETER WALL AND LANDSCAPING WILL BE PROVIDED ALONG THE SHEELER AVE, KEENE ROAD, AND STANFORD ROAD FRONTAGES. THESE TRACTS SHALL BE DEDICATED TO AND MAINTAINED BY THE HOA. THE DESIGN OF THESE BUFFER TRACTS SHALL GENERALLY FOLLOW THE LANDSCAPE DESIGN APPEARING ON SHEETS L100 TO L101 AND L201 TO L206 OF THE MASTER PLAN/PRELIMINARY DEVELOPMENT PLAN. A SIX (6') FOOT HIGH WALL OR FENCE IS PROVIDED IN THESE TRACTS TO PROVIDE BUFFERING FROM THE ADJACENT ROADWAYS.
2. A FIVE (5) FOOT WIDE BUFFER TRACT FOR PERIMETER FENCE AND LANDSCAPING WILL BE PROVIDED ON THE NORTHERN AND WESTERN PROPERTY LINE. THESE TRACTS SHALL BE DEDICATED TO AND MAINTAINED BY THE HOA. THE DESIGN OF THIS BUFFER SHALL GENERALLY FOLLOW THE LANDSCAPE DESIGN APPEARING ON SHEETS L100 TO L101 AND L201 TO L206 OF THE MASTER PLAN/PRELIMINARY DEVELOPMENT PLAN. A SIX (6') FOOT HIGH PRECAST WALL IS PROVIDED IN THESE TRACTS TO BUFFER THE ADJACENT AGRICULTURE-ZONED PROPERTIES.
3. ENTRANCE FEATURE AND COMMUNITY SIGN WILL BE PROVIDED WITH FINAL DEVELOPMENT PLANS.
4. FINAL LANDSCAPE PLANS FOR THE BUFFER AREAS ALONG EAST KEENE ROAD & SOUTH SHEELER AVENUE WILL BE PROVIDED WITH THE FINAL DEVELOPMENT PLANS.
5. TREE PLANTING CONDITIONS: MINIMUM OF TWO NEW TREES SHALL BE PLANTED PER 50' WIDE RESIDENTIAL LOT AND A MINIMUM OF ONE NEW TREE SHALL BE PLANTED PER 40' WIDE RESIDENTIAL LOT. THE NEW TREES SHALL BE A MINIMUM OF 3.5 INCHES DBH AT THE TIME OF PLANTING AND SHALL COUNT TOWARD THE OVERALL NUMBER OF REQUIRED TREE REPLACEMENT INCHES, IF ANY.
6. TREE PROTECTION PLAN - THE FINAL DEVELOPMENT PLAN SHALL INCLUDE TREE PROTECTION TECHNIQUES TO PREVENT HARM TO ANY TREES DESIGNATE TO BE PRESERVED OR ENCROACHMENT INTO PROTECTED NATURAL AREAS, INCLUDING BUT NOT LIMITED TO TREE BARRICADES, SILT FENCING OR OTHER SIMILAR TECHNIQUES ACCEPTED BY THE CITY ENGINEER.

F. MAINTENANCE AND PLAT

- 1. HOMEOWNERS ASSOCIATION WILL MAINTAIN ALL COMMON AREAS, ALLEY TRACTS, FENCES, WALLS, AND LANDSCAPING WITHIN THE FRONT AND CORNER YARDS OF ALL LOTS.
2. THE FINAL DEVELOPMENT PLAN SHALL INCLUDE THE PLAT DOCUMENT, AND THE PLAT SHALL BE IN FINAL FORM.
3. THE CITY OF APOPKA SHALL BE RESPONSIBLE FOR MAINTENANCE OF STREETS, ON-STREET PARALLEL PARKING SPACES, AND STREET LIGHTING AND STORMWATER COLLECTION SYSTEMS WITHIN THE PUBLIC RIGHTS-OF-WAY WITHIN THE SILVER OAK SUBDIVISION. A SPECIAL ASSESSMENT MAY BE REQUIRED WITHIN THE DEVELOPER'S AGREEMENT FOR THE ADDITIONAL MAINTENANCE ASSOCIATED WITH THIS PARKING ARRANGEMENT WITHIN THE PUBLIC RIGHT OF WAY WITHIN THE SILVER OAK DEVELOPMENT

G. WETLANDS AND ENVIRONMENTAL

- 1. THERE ARE NO WETLANDS OR ENVIRONMENTALLY SENSITIVE AREAS ON THE SITE.
2. THERE ARE NO 100-YEAR FLOOD PLAIN AREAS WITHIN THE SITE.
3. AN EROSION PROTECTION PLAN WILL BE SUBMITTED WITH FINAL DEVELOPMENT PLANS.
4. TREE REMOVAL, TREE REPLACEMENT, AND LANDSCAPING SHALL BE IN CONFORMANCE WITH ARTICLE V OF THE CITY OF APOPKA LAND DEVELOPMENT CODE.
5. INDIVIDUAL LOT ARBOR/CLEARING PERMIT IS REQUIRED PRIOR TO CLEARING OR GRADING OF ANY LOT OR ISSUANCE OF BUILDING PERMIT. PLACEMENT OF THE HOUSE SHALL PRESERVE EXISTING TREES TO THE GREATEST EXTENT PRACTICAL. LOT PLAN FOR EACH LOT SHALL ILLUSTRATE TREE LOCATIONS AS PRESENTED WITHIN THE PUD MASTER PLAN/PRELIMINARY DEVELOPMENT PLAN.

H. DEVELOPMENT CONDITION CONTINUITY.

THE PUD DEVELOPMENT STANDARDS SHALL BE PRINTED WITHIN THE PUD MASTER PLAN AND THE FINAL DEVELOPMENT PLAN.

I. SIGNAGE.

SIGNAGE SHALL COMPLY WITH THE CITY OF APOPKA LAND DEVELOPMENT CODE AND CITY OF APOPKA DEVELOPMENT DESIGN GUIDELINES.

J. LIGHTING.

STREET AND PARKING AREA OR PEDESTRIAN PATH LIGHT POLES SHALL BE DECORATIVE TYPE AND DETAILS PROVIDED WITH THE FINAL DEVELOPMENT PLAN.

K. GARBAGE PICKUP.

- 1. FRONT LOADED SINGLE FAMILY UNITS TO BE PICKED UP AT THE ADJACENT FRONT RIGHT-OF-WAY.
2. REAR LOADED SINGLE FAMILY UNITS TO BE PICKED UP AT THE ADJACENT REAR ALLEY TRACT.

L. MISCELLANEOUS.

- 1. ANY EXISTING SEPTIC TANKS OR WELLS SHALL BE PROPERLY ABANDONED PRIOR TO EARTHWORK OR CONSTRUCTION. PERMITS SHALL BE APPLIED FOR AND ISSUED BY THE APPROPRIATE AGENCIES.
2. ALL ACRESAGES ARE SUBJECT TO CHANGE WITH FINAL ENGINEERING AND FINAL PLAT REVIEW AND APPROVAL.
3. OUTDOOR STORAGE AREAS (BOATS, TRAILERS, RECREATIONAL VEHICLES, ETC.) ARE NOT PROVIDED WITHIN THE DEVELOPMENT AND WILL BE PROHIBITED THROUGH THE HOA DOCUMENTS.
4. ALL LOTS WITH REAR ALLY ACCESS SHALL HAVE UNIFORM ADDRESS NUMBERS ON THE BACKSIDE OF THE RESIDENCE AND THE FRONT OF THE BUILDING FACING COMMON OPEN SPACE AREAS.

Consultant:

Table with columns: NO., DATE, DESCRIPTIONS, SUBMISSIONS/REVISIONS. Includes vertical datum, job no., designed by, drawn by, checked by, approved by, scale in feet.

Project Name: SILVER OAK SUBDIVISION PR15-13
City of Apopka, FL

DEVELOPMENT DESIGN STANDARDS

C2.05

Seal:
MARC DANIEL STEPHEN
P.E. NO. 0032781
DATE: March 18, 2016



Poulos & Bennett, LLC
2602 E. Livingston St., Orlando, FL 32803
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Eng. Bus. No. 28567

THIS PLAN IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY AND DEPICTS THE DESIGN STANDARDS OF THE MASTER PLAN / PRELIMINARY DEVELOPMENT PLAN AS APPROVED BY CITY COUNCIL ON JULY 1, 2015.

Z:\2014\14-098 SURREY HOMES - NELSON APOPKA\CAD\FINAL\CITY\14-098-LUT

DEVELOPMENT INFORMATION

GENERAL
FUTURE LAND USE DESIGNATION RES. HIGH DENSITY
ZONING R-3, SMALL LOT OVERLAY
TOTAL PROPOSED UNITS FOR THIS PSP 182

DEVELOPABLE LAND SUMMARY

PHASE 1 SITE AREA 34.62
PHASE 2 SITE AREA 15.97
R-O-W DEDICATION 0.24
TOTAL DEVELOPABLE LAND AREA 50.83

NET DEVELOPABLE LAND SUMMARY

TOTAL DEVELOPABLE LAND AREA 50.83
R-O-W DEDICATION 0.24
NET DEVELOPABLE LAND AREA 50.59

NET DEVELOPABLE LAND SUMMARY PER PHASE

PHASE 1 NET DEVELOPABLE AREA 34.62
PHASE 2 NET DEVELOPABLE AREA 15.97
NET DEVELOPABLE LAND AREA 50.59

PHASING

RESIDENTIAL PORTIONS OF THE PROJECT WILL BE CONSTRUCTED IN TWO (2) PHASES.

PHASE 1

PHASE 1 SITE AREA 34.62 ACRES
PHASE 1 NET DEVELOPABLE AREA 34.62 ACRES
PHASE 1 TOTAL PROPOSED UNITS 116 UNITS

PHASE 2

PHASE 2 SITE AREA 15.97 ACRES
PHASE 2 NET DEVELOPABLE AREA 15.97 ACRES
PHASE 2 TOTAL PROPOSED UNITS 66 UNITS

HOUSING MIX

HOUSING TYPE NUMBER OF UNITS PERCENTAGE (%)
SINGLE FAMILY LOT < 50' WIDTH 85 46.7%
SINGLE FAMILY LOT > 50' WIDTH 97 53.3%
TOTALS: 182 100.0%

OWNERSHIP / MAINTENANCE

ROAD RIGHTS-OF-WAY PUBLIC TO BE OWNED AND MAINTAINED BY THE CITY OF APOPKA
ALLEY TRACTS PRIVATE TO BE OWNED AND MAINTAINED BY HOMEOWNERS ASSOCIATION WITH UTILITY EASEMENT AND DRAINAGE EASEMENT TO THE CITY OF APOPKA.

MISCELLANEOUS

POTABLE WATER SERVICE THE CITY OF APOPKA
RECLAIMED WATER SERVICE THE CITY OF APOPKA
WASTEWATER SERVICE THE CITY OF APOPKA

OPEN SPACE REQUIREMENTS (1)

Table with columns: LAND USE, NET DEVELOPABLE ACRES, REQUIRED % OF OPEN SPACE, PARK / RECREATION TRACTS (TOTAL), BUFFERS / OPEN SPACE TRACTS (TOTAL), DRAINAGE TRACTS (TOTAL) (3), TOTAL OPEN SPACE PROVIDED

- 1. ALL UNITS ARE ACRES
2. MINIMUM 30% OPEN SPACE FOR SINGLE FAMILY RESIDENTIAL PER SMALL LOT OVERLAY ZONING DISTRICT SECTION 3.04.00 (4)(A).
3. SHALL NOT ACCOUNT FOR MORE THAN 50% OF THE TOTAL OPEN SPACE REQUIRED.

RECREATION SPACE CALCULATIONS (1) (2)

RECREATION AREA REQUIRED = 3.6 ACRES PER 1,000 POPULATION
2.6 PEOPLE PER UNIT / 1,000 X 3.6 ACRES = REQUIRED RECREATION AREA
RECREATION REQUIRED: 1.70
AREA PROVIDED: 1.70

- 1. ALL UNITS ARE ACRES.
2. RECREATION CALCULATED PER THE CITY OF APOPKA LDC, SECTION 2.02.18(E)(5)

INDIVIDUAL LOT INFORMATION TABLE

Table with columns: Lot Number, Lot Frontage (Ft.), Lot Square Footage. Lists individual lots from 1 to 182.

SITE DATA TABLE

PARCEL ID NUMBER 22-21-28-0000-00-078, 22-21-28-0000-00-079, 22-21-28-0000-00-081, 22-21-28-0000-00-082, 22-21-28-0000-00-105, 22-21-28-0000-00-108, 22-21-28-0000-00-109, 22-21-28-0000-00-114, 22-21-28-0000-00-117, 22-21-28-0000-00-122
FUTURE LAND USE RESIDENTIAL HIGH DENSITY
ZONING OVERLAY

APPROVED WAIVERS

- 1. WAIVER TO ALLOW SWIMMING POOLS FOR LOTS 50 FEET WIDE OR GREATER.
2. WAIVER TO ALLOW SCREENED ROOMS FOR POOLS IN ACCORDANCE WITH THE ARCHITECTURAL DESIGN PROPOSED.

Variance (V)/Waiver (W) Table

Table with columns: Code #, Code Requirement, (V/W), Request, Justification. Includes entries for curb and gutter requirements and pavement width.

PARK TRACTS

Table with columns: PHASE, TRACT ID, ACREAGE. Lists park tracts 1 and 2 with sub-totals.

OPEN SPACE TRACTS

Table with columns: PHASE, TRACT ID, ACREAGE. Lists open space tracts 1 and 2 with sub-totals.

ALLEY TRACTS

Table with columns: PHASE, TRACT ID, ACREAGE. Lists alley tracts 1 and 2 with sub-totals.

BUFFER TRACTS

Table with columns: PHASE, TRACT ID, ACREAGE. Lists buffer tracts 1 and 2 with sub-totals.

DRAINAGE TRACTS

Table with columns: PHASE, TRACT ID, ACREAGE. Lists drainage tracts 1 and 2 with sub-totals.

LIFT-STATION TRACTS

Table with columns: PHASE, TRACT ID, ACREAGE. Lists lift-station tract 1 with sub-total.

116

Consultant:

Table with columns: NO., DATE, DESCRIPTIONS, SUBMISSIONS/REVISIONS. Lists revision history.

Project Name:

SILVER OAK SUBDIVISION PR15-13

Submitted To: CITY OF APOPKA, FL

SITE DATA

Sheet No.:

C2.06

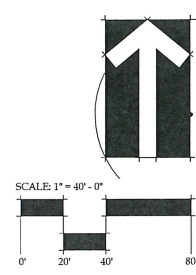
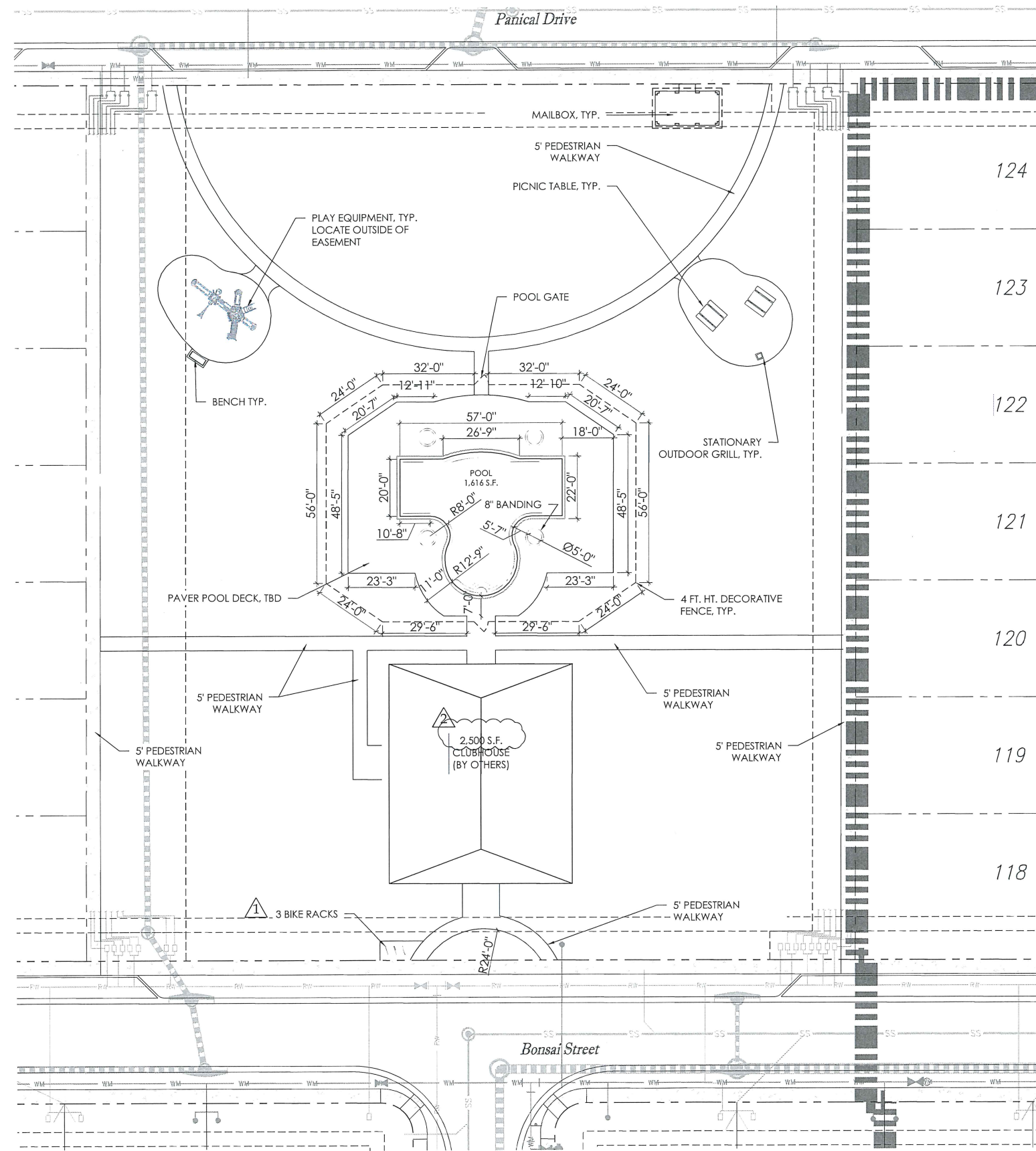
Seal:

MARC DANIEL STEHLI
P.E. NO. 0052781
DATE: March 18, 2016



Poulos & Bennett, LLC
2602 E. Livingston St., Orlando, FL 32803
Tel. 407.487.2394 www.poulosandbennett.com
Eng. Bus. No. 28567

DRAWING NO. 2015-112, 151 CIRCLE DRIVE, MATLAND, FL 32751, SURREY HOMES-SILVER OAK, LA-BASE, DWG



LANDSCAPE AND IRRIGATION DESIGN
 I CERTIFY THAT THE LANDSCAPE AND IRRIGATION DESIGN FOR THIS PROJECT IS IN ACCORDANCE WITH THE CITY OF APOPKA'S ORDINANCE 2009-10 WHICH ESTABLISHES VETERANES LANDSCAPE AND IRRIGATION STANDARDS.
 SIGNATURE: [Signature] REG. NO. 25110 DATE: 08/10/2015

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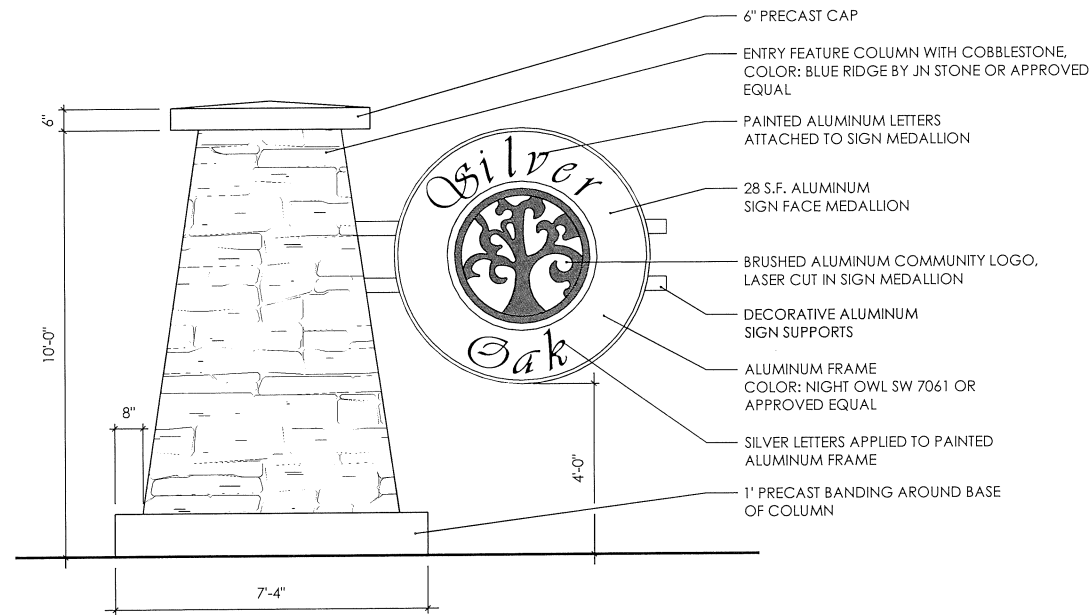
Silver Oak
 Community Landscape Architecture
 Surrey Homes, LLC
 APOPKA, FLORIDA
 LAYOUT PLAN

DATE: August 28, 2015
 DRAWN BY: RCL/LAE
 CHECKED BY: TWB
 JOB NUMBER: 2015.112
 FILE NAME: 2015112_SURREY HOMES-SILVER OAK_LA-BASE

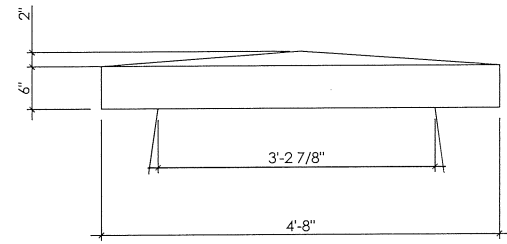
REVISIONS:
 City Comments 02-12-2016
 City Comments 03-18-2016

Todd W. Bonnett, RLA # FL000178

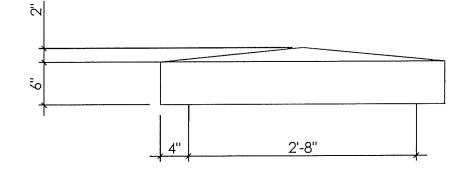
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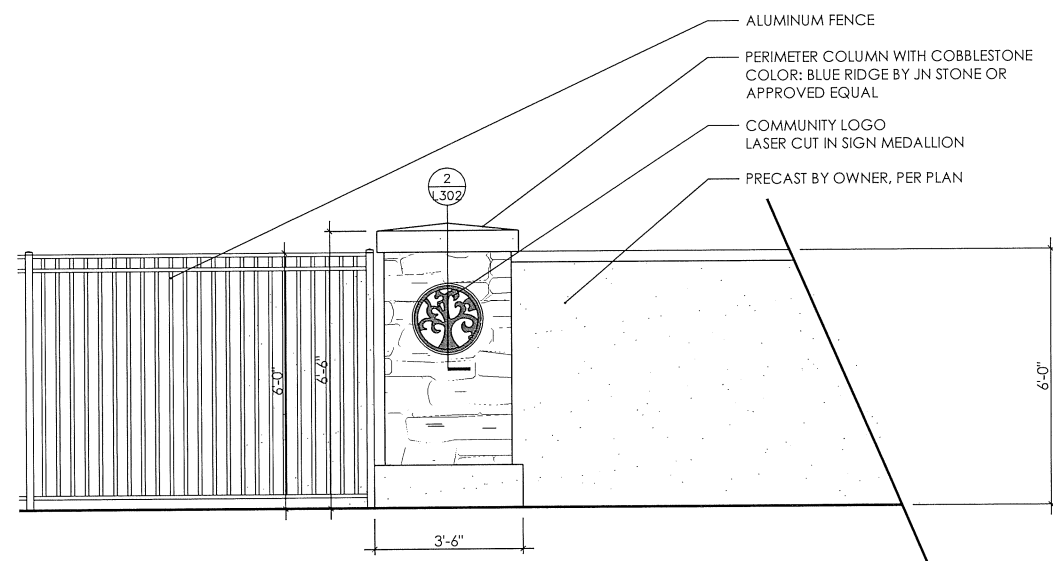
1 ENTRY MONUMENT
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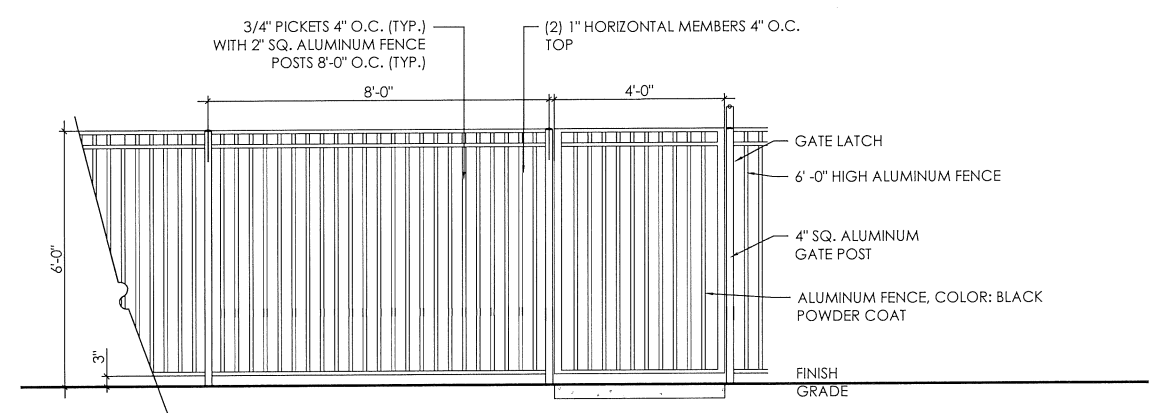
2 ENTRY MONUMENT CAP
L301 SCALE: 1/2" = 1'-0"



3 6' COLUMN CAP
L301 SCALE: 1" = 1'-0"



4 FENCE & 6' COLUMN ELEVATION
L301 SCALE: 1/2" = 1'-0"



5 FENCE & GATE ELEVATION
L301 SCALE: 1/2" = 1'-0"

NOTE: HARDSCAPE DESIGN PLANS PROVIDED TO DEMONSTRATE DESIGN INTENT ONLY AND ARE NOT VALID FOR CONSTRUCTION WITHOUT FINAL STRUCTURAL & REINFORCEMENT DESIGN.



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Silver Oak
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Surrey Homes, LLC
APOKA, FLORIDA
HARDSCAPE DETAILS

DATE: August 28, 2015
DRAWN BY: RCL/LAE
CHECKED BY: TWB
JOB NUMBER: 2015.112
FILE NAME: 30112_SURREY_HOMES_SILVER_OAK_HS-BASE

REVISIONS:

L301

DRAWINGS: LOTTRETS, 9/14/2016 10:29:29 PM. C:\CLIENTS\LANDSCAPE\BONNETT DESIGN GROUP\2015_112_SURREY_HOMES_SILVER_OAK_HS-BASE.DWG

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E. Todd W. Bennett, R.L.A. # FE000778



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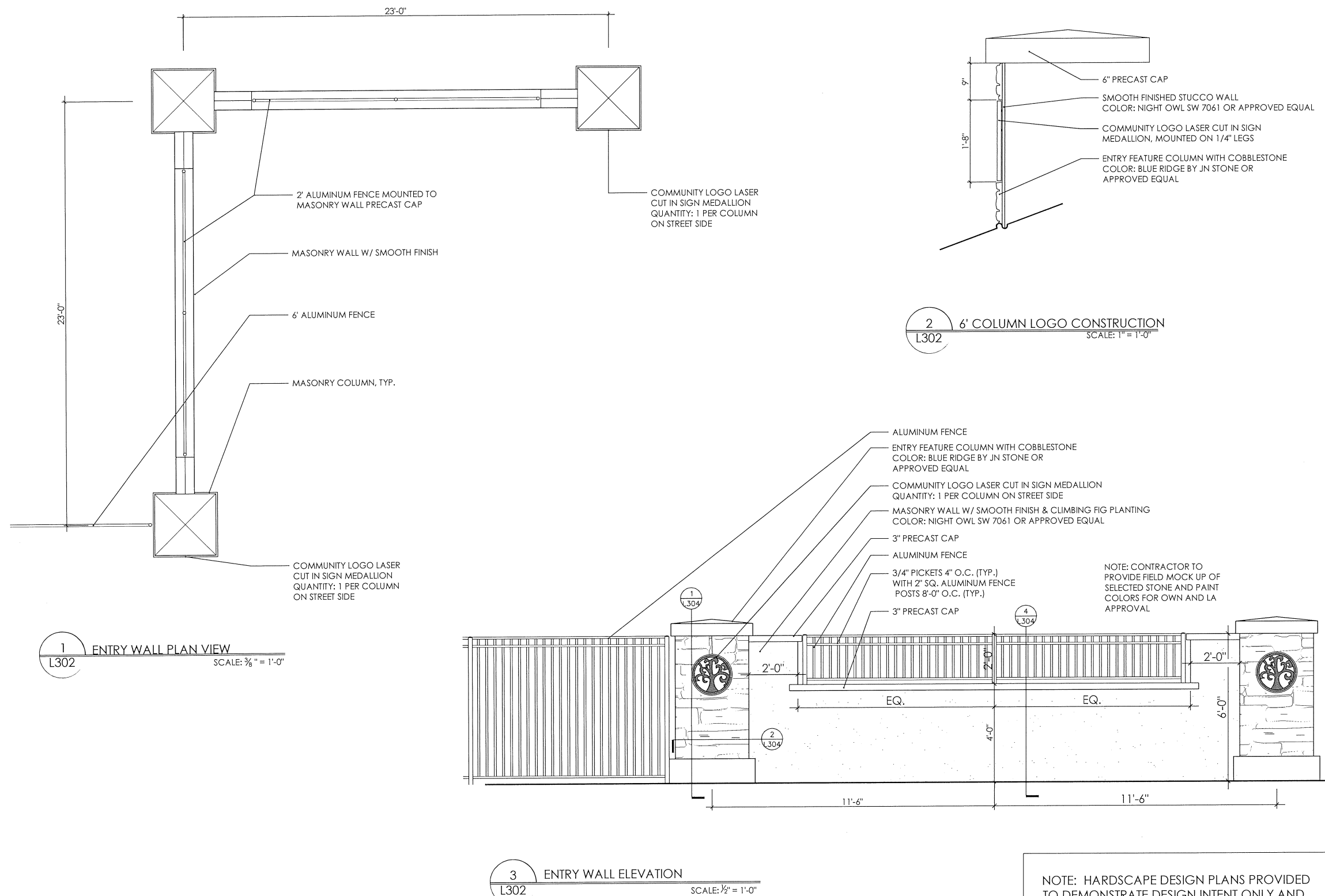
Silver Oak
 Community Landscape Architecture
 Surrey Homes, LLC
 APOPKA, FLORIDA
 HARDSCAPE DETAILS

DATE: August 28, 2015
 DRAWN BY: RCL/LAE
 CHECKED BY: TWB
 JOB NUMBER: 2015.112
 FILE NAME: 2015112_SURREY_HOMES_SILVER_OAK_HS-BAE

REVISIONS:

Todd W. Bennett, R.L.A. #FL000779

L302



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DRAWING PLOTTED: 3/14/2016 10:23:02 PM
 CLIENT: SURREY HOMES, LLC
 PROJECT: SURREY HOMES SILVER OAK HS-BAE

PLAN REVISION DATES:
03-23-15 DRC SUBMITTAL

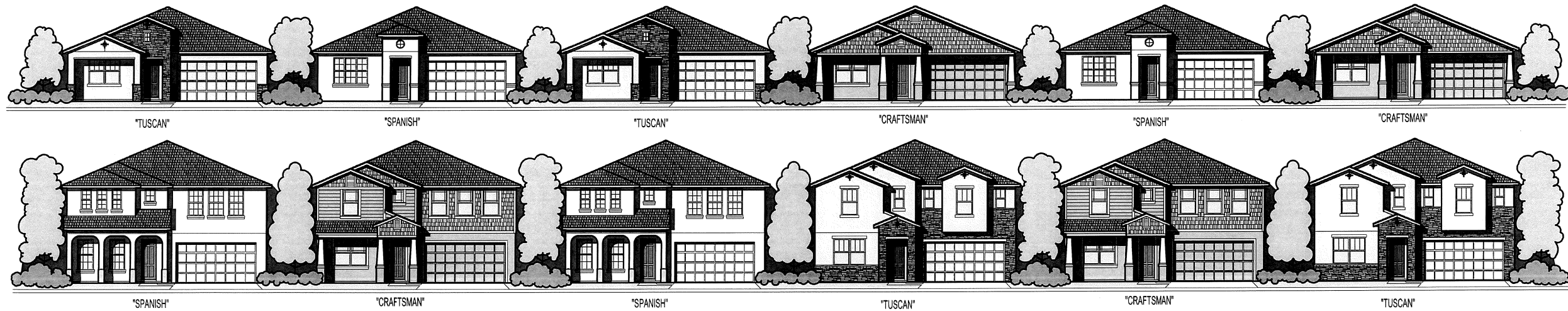


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CBC056823

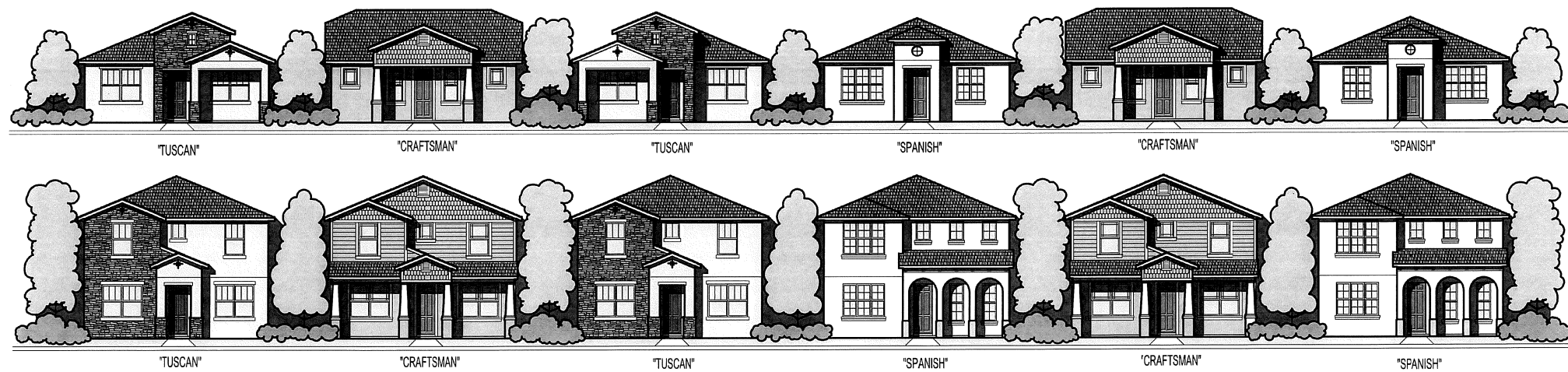
SILVER OAK SUBDIVISION
CONCEPTUAL PLAN
CITY OF APOPKA, FL.

FRONT BLDG. ELEVATIONS
DESIGN STANDARDS

Sht. A-2



50' W LOT - CONCEPTUAL STREET FRONT ELEVATIONS



40' W LOT - CONCEPTUAL STREET / MEW FRONT ELEVATIONS

FRONT BUILDING ENTRANCE ELEVATION DESIGN STANDARDS:

1. FRONT BLDG. ENTRANCE ELEVATIONS SHALL FACE STREETS OR MEWS.
2. FRONT BLDG. ENTRANCE SHALL FEATURE A 5' DP. x 10' WIDE MINIMUM PORCH OR PORTICO FLUSH OR PROJECTING BEYOND FRONT WALL OR SIMILAR FEATURE. FRONT PORCHES & PORTICOS ARE ALLOWED AT GRADE LEVEL.
3. MODEL PLAN TYPE SHALL NOT BE CONSTRUCTED ADJACENT TO THE SAME MODEL PLAN TYPE WITHOUT A DIFFERENT ELEVATION STYLE TYPE.
4. ELEVATION STYLE TYPES OF THE SAME STORY HEIGHT SHALL NOT BE CONSTRUCTED ADJACENT TO THE SAME ELEVATION STYLE TYPE. THE SAME ELEVATION STYLE TYPE OF VARYING STORY HEIGHTS SHALL NOT BE CONSTRUCTED ON THREE (3) CONSECUTIVE LOTS.
5. SPECIFIC ELEVATION STYLE TYPES SHALL HAVE SIMILAR WALL FINISHES, WINDOW GRID PATTERNS, WINDOW BANDING & TRIM, ROOF LINES AND SLOPES, ETC. APPLIED TO EACH LOT WIDTH MODEL PLAN TYPE FRONT ELEVATIONS.
6. IDENTICAL EXTERIOR PAINT SCHEMES SHALL NOT BE APPLIED ON ADJACENT LOTS.
7. ELEVATIONS SHOWN ARE CONCEPTUAL ONLY FOR PURPOSES OF DEVELOPMENT REVIEW APPROVAL.

PLAN REVISION DATES:
03-23-15 DRG SUBMITTAL



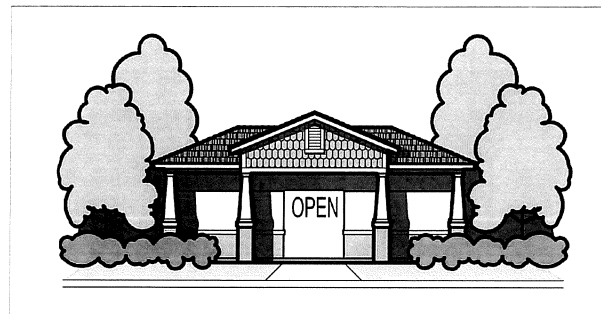
SURREY HOMES LLC

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SILVER OAK SUBDIVISION
CONCEPTUAL PLAN
CITY OF APOPKA, FL.

REAR ELEVATION AT SHEELER AVE.
MAIL KIOSK ELEVATION
COMMUNITY BUILDING ELEVATION
DESIGN STANDARDS

Sht. A-3



MAIL KIOSK STREET ELEVATION
"CRAFTSMAN"

MAIL KIOSK ELEVATION
DESIGN STANDARDS:

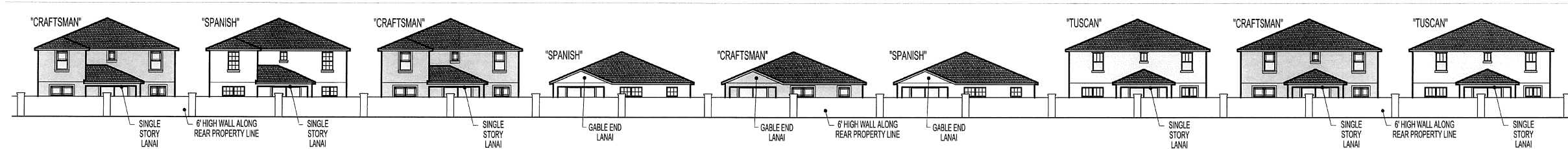
1. ELEVATION SHALL BE COMPATIBLE WITH THE ARCHITECTURAL ELEVATION STYLES OF THE HOMES & COMMUNITY BUILDING WITHIN THE COMMUNITY.
2. MAIL KIOSK SHALL PROVIDE COVERED ROOF AREA FOR PROTECTION FROM INCLEMENT WEATHER.
3. MAIL KIOSK SHALL PROVIDE CLUSTER BOX UNITS.
4. ELEVATION SHOWN IS CONCEPTUAL ONLY FOR PURPOSES OF DEVELOPMENT REVIEW APPROVAL.



COMMUNITY BUILDING STREET ELEVATION
"TUSCAN / SPANISH"

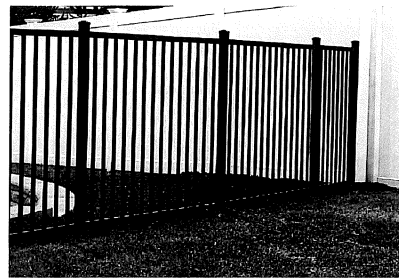
COMMUNITY BUILDING ELEVATION
DESIGN STANDARDS:

1. ELEVATION SHALL BE COMPATIBLE WITH THE ARCHITECTURAL ELEVATION STYLES OF THE HOMES & MAIL KIOSK WITHIN THE COMMUNITY.
2. ELEVATION SHOWN IS CONCEPTUAL ONLY FOR PURPOSES OF DEVELOPMENT REVIEW APPROVAL.

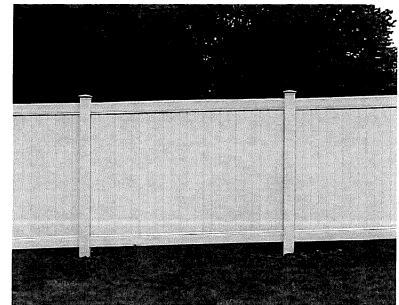


REAR ELEVATION FACING "SHEELER AVENUE" DESIGN STANDARDS (Lots 38 thru 54);

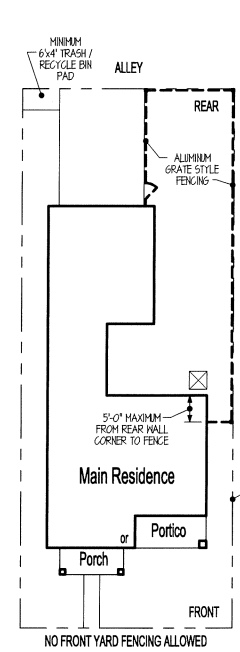
1. SINGLE STORY LANAIS SHALL BE REQUIRED ON ANY TWO STORY HOME TO ELIMINATE BOX ON BOX APPEARANCE.
2. SINGLE STORY HOMES SHALL HAVE GABLE ENDS AT LANAI'S TO ELIMINATE CONTINUOUS HORIZONTAL FASCIA LINE AND SINGLE HIP ROOF PLANE.
3. LARGE EXPANSES OF SOLID WALL SHALL BE AVOIDED THRU USE OF WINDOWS, WALL FEATURES, OR WALL / ROOF JOGS.
4. WINDOW GRID PATTERNS AND WINDOW BANDING & TRIM SHALL MATCH FRONT ELEVATION WINDOWS.
5. WINDOW STYLE TYPES OF THE SAME STORY HEIGHTS SHALL NOT BE CONSTRUCTED ADJACENT TO THE SAME ELEVATION STYLE TYPE. THE SAME ELEVATION STYLE TYPE OF VARYING STORY HEIGHTS SHALL NOT BE CONSTRUCTED ON THREE (3) CONSECUTIVE LOTS.
6. IDENTICAL EXTERIOR PAINT SCHEMES SHALL NOT BE APPLIED ON ADJACENT LOTS.
7. ELEVATIONS SHOWN ARE CONCEPTUAL ONLY FOR PURPOSES OF DEVELOPMENT REVIEW APPROVAL.



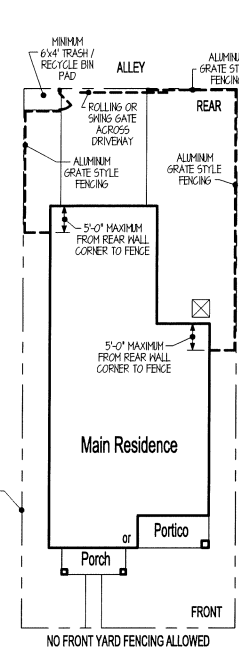
CONCEPTUAL ALUMINUM GRATE STYLE FENCE



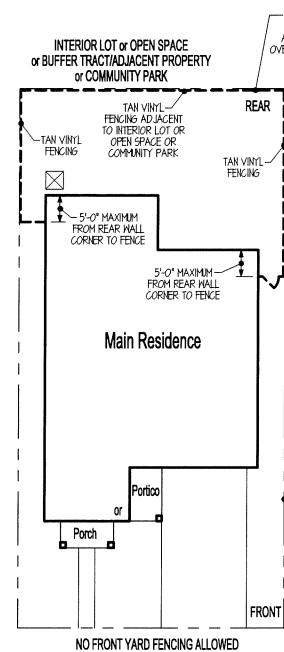
CONCEPTUAL TAN VINYL OPAQUE STYLE FENCE



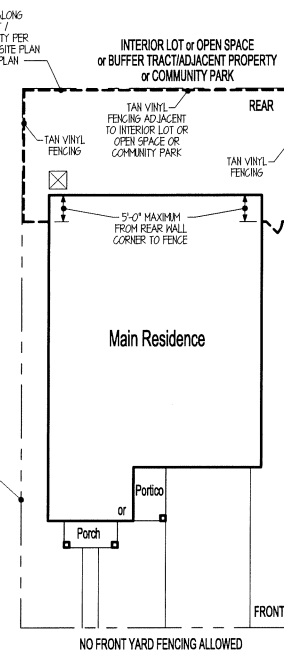
CONCEPTUAL FENCING PLAN FOR 40' LOT PROTOTYPE



CONCEPTUAL FENCING PLAN FOR 50' LOT PROTOTYPE

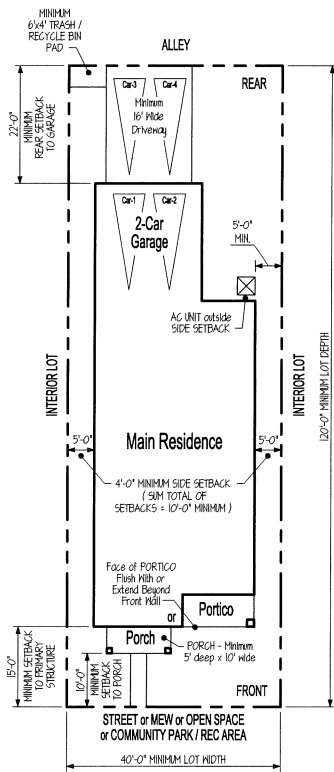


CONCEPTUAL FENCING PLAN FOR 50' LOT PROTOTYPE

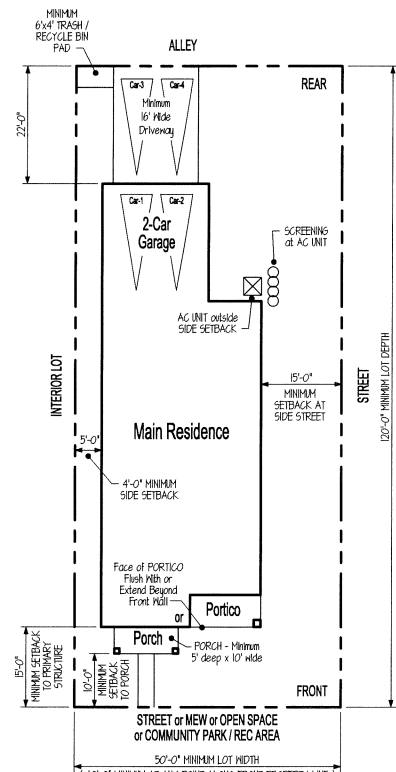


NON-COMMUNITY PERIMETER FRONT & REAR YARD FENCING DESIGN STANDARDS:

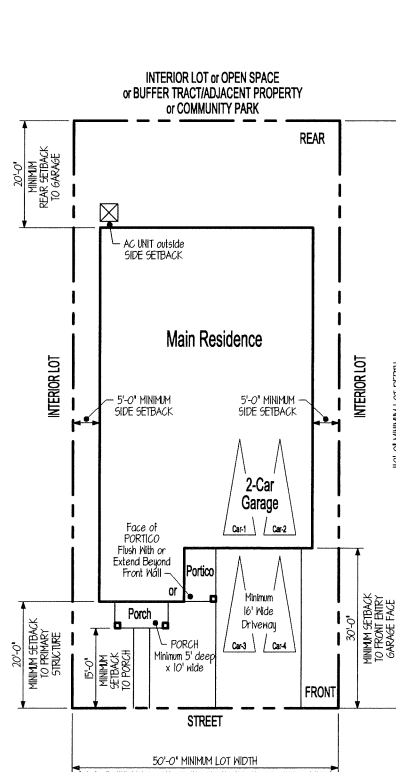
1. COMMUNITY PERIMETER FENCING STANDARDS ARE NOT ADDRESSED IN THESE STANDARDS.
2. NO FENCING ALLOWED IN FRONT YARDS.
3. FENCING AT REAR YARDS OF 40' WIDE OR REAR ALLEY LOADED LOTS SHALL BE ALUMINUM GRATE STYLE FENCING.
4. FENCING AT REAR YARDS OF 50' WIDE OR GARAGE FRONT LOADED LOTS SHALL BE TAN VINYL OPAQUE STYLE FENCING.
5. MAXIMUM HEIGHT = 5'-0" ABOVE FINAL GRADE. NO FENCE SHALL EXCEED THE HEIGHT OF AN ABUTTING COMMON AREA WALL.
6. REAR YARD FENCES SHALL NOT PROJECT MORE THAN 5' BEYOND REAR SIDE WALL BUILDING CORNER.



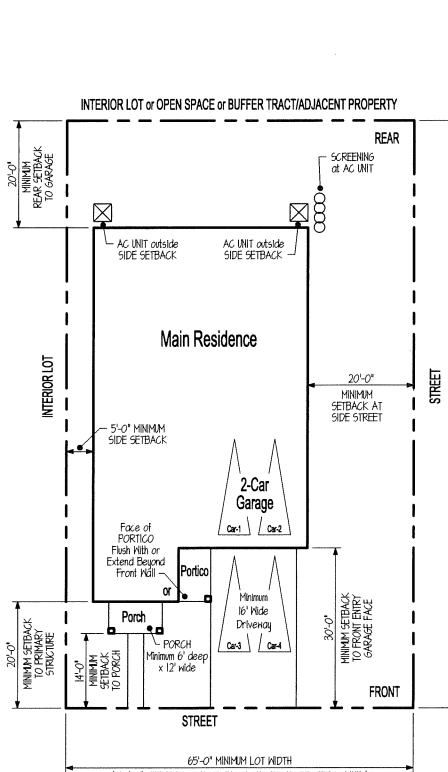
40' INTERIOR LOT PROTOTYPE



40' CORNER LOT PROTOTYPE



50' INTERIOR LOT PROTOTYPE



50' CORNER LOT PROTOTYPE

CONCEPTUAL INDIVIDUAL SITE PLANS

BUILDING & DEVELOPMENT DESIGN STANDARDS:

1. BUILDING & DEVELOPMENT DESIGN SHALL MEET THE INTENT OF CITY OF APOPKA DEVELOPMENT GUIDELINES AND SECTION 3.04.08 OF THE SMALL LOT OVERLAY DISTRICT ORDINANCE OR OTHERWISE STATED IN THE PLAN SUBMITTAL OF RECORD.
2. ALL LOTS SHALL HAVE DETACHED SINGLE FAMILY HOMES.
3. MAXIMUM LOT COVERAGE = 75% FOR 40' MINIMUM LOT WIDTH - 70% FOR 50' MINIMUM LOT WIDTH.
4. BUILDING AND GARAGE SETBACKS PER CONCEPTUAL SITE PLANS ON SHEET "A-1".
5. ALL LOTS SHALL PROVIDE PARKING SPACES FOR MINIMUM OF (4) VEHICLES ON THE LOT.
6. MAIL DELIVERY FOR ALL LOTS SHALL OCCUR AT MAIL KIOSK WITH CLUSTER MAILBOX UNITS. MAIL KIOSK SHALL PROVIDE COVERED ROOF AREA FOR PROTECTION FROM INCLEMENT WEATHER. SEE SHEET "A-3" FOR STREET ELEVATION CONCEPTUAL DRAWING & MAIL KIOSK DESIGN STANDARDS.
7. COMMUNITY BUILDING ELEVATION DESIGN STANDARDS AS STATED ON SHT. "A-3"
8. MINIMUM LIVABLE AREA = 1500 SQ. FT. FOR MAXIMUM OF 46 LOTS (25% OF TOTAL LOTS) OTHERWISE MINIMUM OF 1700 SQ. FT.
9. NUMBER OF BEDROOM PER INDIVIDUAL HOME = (2) MINIMUM - (4) MAXIMUM
10. FRONT BUILDING ENTRANCE ELEVATION STANDARDS AS STATED ON SHT. "A-2"
11. REAR ELEVATION FACING "SHEELER STREET" DESIGN STANDARDS AS STATED ON SHT. "A-3"
12. NUMBER OF STORIES = (2) MAXIMUM
13. FACE OF WALL CONTAINING A FRONT ENTRY GARAGE SHALL NOT EXTEND PAST THE FRONT BUILDING WALL. SETBACK TO WALL SHALL BE 30' MINIMUM FROM FRONT PROPERTY LINE.
14. STORAGE SHEDS OR SIMILAR STORAGE FACILITIES SHALL NOT BE ALLOWED.
15. TRELIS STRUCTURES, GAZEBOES, AND SCREEN ENCLOSURES WITH NON-METAL OR NON-VINYL ROOFS SHALL BE ALLOWED WITHIN APPLICABLE ZONING SETBACKS.
16. SWIMMING POOLS SHALL NOT BE ALLOWED ON LOTS LESS THAN 50' WIDE & BUILDING PAD WIDTHS OF LESS THAN 40' WIDE.
17. NON-COMMUNITY PERIMETER FRONT & REAR YARD FENCING STANDARDS AS STATED ON SHT. "A-1"
18. TRASH / RECYCLE BIN PADS (MINIMUM 6x4) SHALL BE PROVIDED WITHIN THE REAR YARD & ADJACENT TO DRIVEWAYS FOR LOTS ADJACENT TO ALLEYS. SEE SITE PLANS ON SHT. "A-1"
19. AC CONDENSER UNITS & SIMILAR EQUIPMENT SHALL BE PLACED IN THE REAR YARD AREA. UNITS & SIMILAR EQUIPMENT SHALL NOT BE PLACED INSIDE THE SIDE YARD BUILDING SETBACK. UNITS SHALL BE SCREENED FROM SIDE STREETS WITH LANDSCAPING OR OPAQUE FENCING. SEE SITE PLANS ON SHT. "A-1"

PLAN REVISION DATES:
03-23-15 DRG SUBMITTAL



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SILVER OAK SUBDIVISION
CONCEPTUAL PLAN
CITY OF APOPKA, FL.

INDIVIDUAL SITE PLANS
FENCING PLANS
DESIGN STANDARDS

Sht. A-1

SILVER OAK

SITUATED IN SECTION 22, TOWNSHIP 21 SOUTH, RANGE 28 EAST, CITY OF APOPKA, ORANGE COUNTY, FLORIDA

GENERAL NOTES:

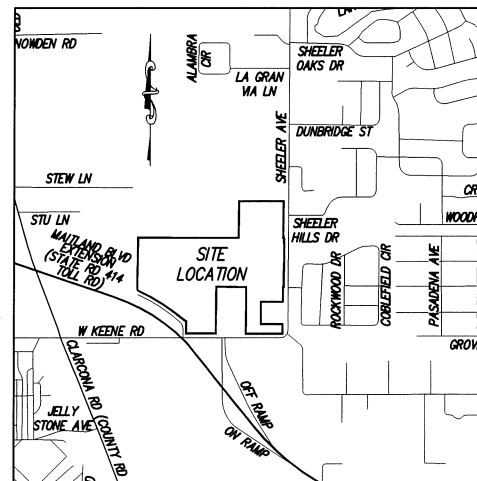
- 1. BEARINGS SHOWN HEREON ARE ASSUMED AND BASED ON THE SOUTH LINE OF THE SOUTHEAST 1/4 OF SECTION 22, TOWNSHIP 21 SOUTH, RANGE 28 EAST, AS BEING S89°49'53"E.
2. ALL CURVILINEAR LINES ARE RADIAL UNLESS OTHERWISE NOTED.
3. UNLESS OTHERWISE INDICATED, A UTILITY EASEMENT BEING 10.00 FEET WIDE AT THE FRONT OF ALL LOTS AND TRACTS ABUTTING ROAD RIGHTS-OF-WAY (PUBLIC OR PRIVATE) IS HEREBY DEDICATED TO THE CITY OF APOPKA, PUBLIC UTILITY SERVICE PROVIDERS AND THE SILVER OAK HOMEOWNERS ASSOCIATION, INC. THE CITY OF APOPKA AND PUBLIC UTILITY SERVICE PROVIDERS ARE RESPONSIBLE ONLY FOR THE MAINTENANCE OF THEIR RESPECTIVE UTILITIES PLACED WITHIN THE UTILITY EASEMENTS. THE FEE SIMPLE OWNER OF SAID LOTS AND/OR TRACTS SHALL BE RESPONSIBLE FOR THE GRASS AND LANDSCAPING WITHIN ALL UTILITY EASEMENTS LOCATED UPON INDIVIDUAL LOTS AND/OR TRACTS.
4. UNLESS OTHERWISE INDICATED A UTILITY AND DRAINAGE EASEMENT BEING 5 FEET WIDE ADJACENT TO ALL SIDE LOT LINES AND A 7.5 FEET WIDE ADJACENT TO ALL REAR LOT LINES IS HEREBY DEDICATED TO THE CITY OF APOPKA PUBLIC UTILITY LOTS AND TRACTS ABUTTING ROAD RIGHTS-OF-WAY (PUBLIC OR PRIVATE) IS HEREBY DEDICATED TO THE CITY OF APOPKA, PUBLIC UTILITY SERVICE PROVIDERS AND THE SILVER OAK HOMEOWNERS ASSOCIATION, INC. THE CITY OF APOPKA AND PUBLIC UTILITY SERVICE PROVIDERS ARE RESPONSIBLE ONLY FOR THE MAINTENANCE OF THEIR RESPECTIVE UTILITIES PLACED WITHIN THE UTILITY EASEMENTS. THE FEE SIMPLE OWNER OF SAID LOTS AND/OR TRACTS SHALL BE RESPONSIBLE FOR THE GRASS AND LANDSCAPING WITHIN ALL UTILITY EASEMENTS LOCATED UPON INDIVIDUAL LOTS AND/OR TRACTS.
5. PURSUANT TO SECTION 177.091 (28), FLORIDA STATUTES, AS AMENDED; ALL PLATTED UTILITY EASEMENTS SHALL PROVIDE THAT SUCH EASEMENTS SHALL ALSO BE EASEMENTS FOR THE CONSTRUCTION, INSTALLATION, MAINTENANCE, AND OPERATION OF CABLE TELEVISION SERVICES; PROVIDED, HOWEVER, NO SUCH CONSTRUCTION, INSTALLATION, MAINTENANCE, AND OPERATION OF CABLE TELEVISION SERVICES SHALL INTERFERE WITH THE FACILITIES AND SERVICES OF AN ELECTRIC, TELEPHONE, GAS, OR OTHER PUBLIC UTILITY. IN THE EVENT A CABLE TELEVISION COMPANY DAMAGES THE FACILITIES OF A PUBLIC UTILITY, IT SHALL BE SOLELY RESPONSIBLE FOR THE DAMAGES. THIS SECTION SHALL NOT APPLY TO THOSE PRIVATE EASEMENTS GRANTED TO OR OBTAINED BY A PARTICULAR ELECTRIC, TELEPHONE, GAS, OR OTHER PUBLIC UTILITY. SUCH CONSTRUCTION, INSTALLATION, MAINTENANCE, AND OPERATION SHALL COMPLY WITH THE NATIONAL ELECTRICAL SAFETY CODE AS ADOPTED BY THE FLORIDA PUBLIC SERVICE COMMISSION.
9. THE PROPERTY SHOWN HEREON IS SUBJECT TO THE TERMS AND CONDITIONS OF THAT CERTAIN DECLARATION OF CODE, COVENANTS, CONDITIONS, EASEMENTS AND RESTRICTIONS FOR SILVER OAK AND ALL EXHIBITS THERETO SHALL BE APPROVED BY THE CITY OF APOPKA, ORANGE COUNTY, FLORIDA, WHICH IS RECORDED IN OFFICIAL RECORDS BOOK , PAGE , OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA..
10. TRACTS A-1, A-2, A-3, A-4, A-5 AND A-6 (ALLEY TRACTS) ARE HEREBY DEDICATED TO AND SHALL BE MAINTAINED BY THE SILVER OAK HOMEOWNERS ASSOCIATION AND SUBJECT TO A DRAINAGE AND UTILITY EASEMENT IN FAVOR OF THE CITY OF APOPKA.
11. TRACTS B-1, B-2 AND B-3 (BUFFER TRACT); TRACTS OS-1, OS-2, OS-3, OS-4, OS-5, OS-6 AND OS-7 (OPEN SPACE TRACTS); TRACTS PR-1, PR-2, PR-3, PR-4, PR-5 AND PR-6 (PARK/RECREATION TRACTS) ARE HEREBY DEDICATED TO AND SHALL BE MAINTAINED BY THE SILVER OAK HOMEOWNERS ASSOCIATION, INC.
12. TRACT M-1 (LANDSCAPE MEDIAN TRACT) ARE HEREBY TO AND SHALL MAINTAINED BY THE SILVER OAK HOMEOWNERS ASSOCIATION AND SUBJECT TO BLANKET TYPE DRAINAGE AND UTILITY EASEMENT IN FAVOR OF THE CITY OF APOPKA.
13. TRACTS D-1 AND D-2 (DRAINAGE TRACTS) ARE HEREBY DEDICATED TO AND SHALL BE MAINTAINED BY THE SILVER OAK HOME OWNERS ASSOCIATION AND SUBJECT TO BLANKET TYPE DRAINAGE EASEMENT TO THE CITY OF APOPKA FOR MAINTENANCE INFRASTRUCTURE ONLY.
14. TRACT LS-1 (LIFT STATION TRACT); TRACTS RW-1 AND RW-2 (RIGHT-OF-WAY TRACTS) ARE HEREBY DEDICATED TO AND SHALL BE MAINTAINED BY THE CITY OF APOPKA.
15. ALL DEVELOPMENT SHALL BE IN ACCORDANCE WITH AND SUBJECT TO THE CITY OF APOPKA LAND DEVELOPMENT CODE, AS AMENDED FROM TIME TO TIME, AND ALL FEDERAL, STATE, COUNTY AND CITY RULES, REGULATIONS, ORDINANCES, PROVISIONS AND APPROVALS. NOTHING THEREIN SHALL BE CONSTRUED TO WAIVE ANY PROVISION OF THE APOPKA LAND DEVELOPMENT CODE.
16. THE SIDEWALK EASEMENT SHOWN HEREON IS HEREBY DEDICATED TO AND MAINTAINED BY THE CITY OF APOPKA.
17. THE 35.00 FOOT WIDE UTILITY AND DRAINAGE EASEMENT SHOWN ON TRACT PR-1 IS HEREBY DEDICATED TO THE CITY OF APOPKA AND MAINTAINED BY THE SILVER OAK HOMEOWNERS ASSOCIATION, INC..
18. SUBJECT PROPERTY CONTAINS: 182 RESIDENTIAL LOTS
19. THE LANDSCAPE EASEMENT (L.E.) SHOWN HEREON IS HEREBY DEDICATED TO AND MAINTAINED BY THE SILVER OAK HOMEOWNERS ASSOCIATION, INC.

DESCRIPTION:

A PORTION OF THE SOUTHEAST 1/4 OF SECTION 22, TOWNSHIP 21 SOUTH, RANGE 28 EAST, ORANGE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHEAST CORNER OF THE SOUTHEAST 1/4 OF SAID SECTION 22; THENCE RUN N00°25'09"E ALONG THE EAST LINE OF THE SOUTHEAST 1/4 OF SAID SECTION 22, A DISTANCE OF 30.00 FEET; THENCE DEPARTING SAID EAST LINE RUN N89°49'53"W, A DISTANCE OF 30.00 FEET TO THE POINT OF BEGINNING; SAID POINT ALSO BEING ON THE NORTH RIGHT OF WAY LINE OF KEENE ROAD PER DEED BOOK 347, PAGE 367, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA; THENCE RUN N89°49'53"W ALONG SAID NORTH RIGHT OF WAY LINE, A DISTANCE OF 490.00 FEET TO THE WEST LINE OF THE EAST 520.00 FEET OF SAID SOUTHEAST 1/4; THENCE DEPARTING SAID NORTH RIGHT OF WAY LINE RUN N00°25'09"E ALONG SAID WEST LINE AS DESCRIBED IN OFFICIAL RECORDS BOOK 8251, PAGE 738, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA, A DISTANCE OF 628.86 FEET TO A POINT ON THE NORTH LINE OF THE SOUTH 1/2 OF THE SOUTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SAID SECTION 22; THENCE RUN N89°50'37"W ALONG SAID NORTH LINE, A DISTANCE OF 400.00 FEET; THENCE DEPARTING SAID NORTH LINE RUN S00°25'09"W ALONG THE EAST LINE OF THE EAST 420.00 FEET OF SAID SOUTH 1/2 OF THE SOUTHEAST 1/4 OF THE SOUTHEAST 1/4 AS DESCRIBED IN OFFICIAL RECORDS BOOK 10861, PAGE 5992, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA, A DISTANCE OF 628.57 FEET TO A POINT ON THE AFORESAID NORTH RIGHT OF WAY LINE OF KEENE ROAD; THENCE RUN N89°49'53"W ALONG SAID NORTH RIGHT OF WAY LINE, A DISTANCE OF 401.50 FEET TO A POINT ON THE EAST LINE OF THE SOUTHEAST 1/4 OF THE SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SAID SECTION 22; THENCE RUN N00°36'13"E ALONG SAID EAST LINE, A DISTANCE OF 163.08 FEET TO A POINT ON THE NORTHERLY RIGHT OF WAY LINE OF STATE ROAD 414 VARIABLE RIGHT OF WIDTH PER OCEEA RIGHT OF WAY MAP PROJECT NO. 414-210; SAID POINT ALSO BEING ON A NON TANGENT CURVE CONCAVE SOUTHWESTERLY HAVING A RADIUS OF 3055.39 FEET, A CENTRAL ANGLE OF 14°37'24", A CHORD BEARING OF N57°26'04"W AND A CHORD DISTANCE OF 777.70 FEET; THENCE RUN NORTHWESTERLY ALONG THE ARC OF SAID CURVE, A DISTANCE OF 779.81 FEET TO THE END OF SAID CURVE AND A POINT ON THE WEST LINE OF THE EAST 1/2 OF THE SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SAID SECTION 22; THENCE RUN N00°41'46"E ALONG SAID WEST LINE, A DISTANCE OF 706.94 FEET TO THE NORTHWEST CORNER OF THE NORTHEAST 1/4 OF THE SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SAID SECTION 22; THENCE RUN S89°51'21"E ALONG THE NORTH LINE OF THE SOUTH 1/2 OF THE SOUTHEAST 1/4 OF SAID SECTION 22, A DISTANCE OF 1349.04 FEET TO A POINT ON THE EAST LINE OF THE EAST 627.00 FEET OF THE SOUTHEAST 1/4 OF THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SAID SECTION 22; THENCE RUN N02°52'12"E ALONG SAID EAST LINE, A DISTANCE OF 495.01 FEET TO A POINT ON THE NORTH LINE OF THE SOUTH 495.00 FEET OF THE SOUTHEAST 1/4 OF THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4 AS DESCRIBED IN OFFICIAL RECORDS BOOK 8251, PAGE 738, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA; THENCE RUN S89°51'21"E ALONG SAID NORTH LINE, A DISTANCE OF 594.01 FEET TO A POINT ON THE WEST RIGHT OF WAY LINE OF SHEELER ROAD PER OFFICIAL RECORDS BOOK 5464, PAGE 880, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA; THENCE RUN ALONG SAID WEST RIGHT OF WAY LINE THE FOLLOWING EIGHT (8) COURSES: S00°25'09"W, A DISTANCE OF 495.01 FEET TO THE NORTH LINE OF THE SOUTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SAID SECTION 22; THENCE S89°51'21"E ALONG SAID NORTH LINE, A DISTANCE OF 14.00 FEET; THENCE S00°51'46"E, A DISTANCE OF 178.78 FEET; THENCE S01°03'47"W, A DISTANCE OF 267.03 FEET; THENCE S89°51'56"E, A DISTANCE OF 2.00 FEET; THENCE S00°25'09"W, A DISTANCE OF 213.00 FEET TO THE NORTH LINE OF THE SOUTH 1/2 OF THE SOUTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SAID SECTION 22; THENCE N89°50'35"W ALONG SAID NORTH LINE, A DISTANCE OF 10.00 FEET; THENCE S00°25'09"W, A DISTANCE OF 198.75 FEET TO THE NORTH LINE OF THE SOUTH 460.00 FEET OF THE SOUTH 1/2 OF THE SOUTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SAID SECTION 22; THENCE DEPARTING SAID WEST RIGHT OF WAY LINE RUN N89°49'53"W, ALONG SAID NORTH LINE, A DISTANCE OF 290.00 FEET TO A POINT ON THE WEST LINE OF THE EAST 320.00 FEET OF THE SOUTH 1/2 OF THE SOUTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SAID SECTION 22; THENCE RUN S00°25'09"W, ALONG SAID WEST LINE, A DISTANCE OF 300.00 FEET TO THE NORTH LINE OF THE SOUTH 160.00 FEET OF SAID SECTION 22; THENCE RUN S00°25'09"W, ALONG SAID WEST LINE, A DISTANCE OF 290.00 FEET TO A POINT ON THE AFORESAID WEST RIGHT OF WAY LINE OF SHEELER ROAD; THENCE RUN S00°25'09"W ALONG SAID WEST RIGHT OF WAY LINE, A DISTANCE OF 130.00 FEET TO THE POINT OF BEGINNING.

CONTAINING: 2,214,146.71 SQUARE FEET OR 50.830 ACRES MORE OR LESS.



VICINITY MAP (NOT TO SCALE)

SHEET INDEX table with columns for sheet number and description: SHEET 1: COVER SHEET/DESCRIPTION/NOTES/LEGEND, SHEET 2: KEY SHEET/PLAT BOUNDARY/TRACT TABLE, SHEETS 3-6: DETAIL SHEETS

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LEGEND AND ABBREVIATIONS: Table listing symbols and their meanings such as PCM (POURED CONCRETE MONUMENT), PCP (PERMANENT CONTROL POINT), CH (CHORD BEARING), etc.

Dewberry logo and contact information: 131 WEST KALEY STREET, ORLANDO, FLORIDA 32806, PHONE: 321.354.9826, FAX: 407.648.9104, WWW.DEWBERRY.COM, CERTIFICATE OF AUTHORIZATION NO. LB 8011

PLAT BOOK : PAGE:

SILVER OAK DEDICATION

KNOW MEN BY ALL THESE PRESENTS, THAT SURREY HOMES, LLC, A FLORIDA LIMITED LIABILITY COMPANY, BEING THE OWNER IN FEE SIMPLE OF THE LANDS DESCRIBED IN THE FOREGOING CAPTION TO THIS PLAT, HEREBY DEDICATE SAID LANDS AND PLAT FOR THE USES AND PURPOSES THEREIN EXPRESSED AND DEDICATE THE STREETS, UTILITY EASEMENTS, DRAINAGE EASEMENTS (UNLESS OTHERWISE NOTED), AND TRACTS RW-1 (R/W), RW-2 (R/W), LS-1 (LIFT STATION) SHOWN HEREON (TO THE EXTENT SUCH EASEMENTS ARE NOT SHOWN HEREON AS PRIVATE EASEMENTS) TO THE PERPETUAL USE OF THE PUBLIC.

IN WITNESS WHEREOF, THE OWNER HAS CAUSED THESE PRESENTS TO BE SIGNED BY THE OFFICER NAMED BELOW ITS CORPORATE SEAL TO BE AFFIXED HERETO ON , A.D. 2016.

BY: SURREY HOMES, LLC

NAME: _____

SIGNED: _____ TITLE: _____

SIGNED, SEALED AND DELIVERED IN THE PRESENCE OF:

WITNESS (SIGNATURE) WITNESS (PRINTED)

WITNESS (SIGNATURE) WITNESS (PRINTED)

STATE OF FLORIDA, COUNTY OF _____

THIS IS TO CERTIFY, THAT ON 2016 BEFORE ME AN OFFICER DULY AUTHORIZED TO TAKE ACKNOWLEDGEMENTS IN THE STATE AND COUNTY AFORESAID PERSONALLY APPEARED AS OF SURREY HOMES, LLC, A FLORIDA LIMITED LIABILITY COMPANY, ON BEHALF OF THE COMPANY. HE IS PERSONALLY KNOWN TO ME OR PRODUCED AS IDENTIFICATION AND DID/DID NOT TAKE AN OATH.

IN WITNESS WHEREOF, I HAVE HEREUNTO SET MY HAND AND SEAL ON THE ABOVE DATE.

SIGNATURE OF NOTARY

NOTARY PRINTED NAME

MY COMMISSION EXPIRES MY COMMISSION NO.

QUALIFICATION STATEMENT OF SURVEYOR AND MAPPER

KNOW ALL MEN BY THESE PRESENTS, THAT THE UNDERSIGNED BEING A PROFESSIONAL SURVEYOR AND MAPPER HAS PREPARED THE FOREGOING PLAT AND IT WAS MADE UNDER MY DIRECTION AND SUPERVISION; AND THAT THIS PLAT COMPLIES WITH ALL OF THE SURVEY REQUIREMENTS AS REQUIRED BY CHAPTER 177, FLORIDA STATUTES; AND THAT SAID LAND IS LOCATED IN ORANGE COUNTY, FLORIDA.

WILLIAM D. DONLEY DATE
FLORIDA REGISTRATION NUMBER: 5381
DEWBERRY (SEAL)
131 WEST KALEY STREET
ORLANDO, FLORIDA 32806
CERTIFICATE OF AUTHORIZATION NUMBER LB 8011

CERTIFICATE OF APPROVAL BY CITY ENGINEER

EXAMINED AND APPROVED:

CITY ENGINEER DATE

CERTIFICATE OF APPROVAL BY APOPKA PLANNING COMMISSION

EXAMINED AND APPROVED:

DIRECTOR OF PLANNING COMMISSION DATE

CERTIFICATE OF COUNTY COMPTROLLER

I HEREBY CERTIFY THAT THE FOREGOING PLAT WAS RECORDED IN THE ORANGE COUNTY OFFICIAL RECORDS ON 2016, AS FILE NO.

COUNTY COMPTROLLER IN AND FOR ORANGE COUNTY, FLORIDA

BY: _____

CERTIFICATE OF REVIEW BY CITY SURVEYOR

THIS PLAT HAS BEEN REVIEWED FOR CONFORMITY WITH CHAPTER 177, FLORIDA STATUTES.

CITY SURVEYOR'S SIGNATURE DATE
FLORIDA REGISTRATION NUMBER:

CERTIFICATE OF APPROVAL BY MUNICIPALITY

THIS IS TO CERTIFY, THAT ON 2016, THE FOREGOING PLAT WAS APPROVED BY THE BOARD OF COUNTY COMMISSIONERS OF THE CITY OF APOPKA, FLORIDA.

MAYOR: _____

A: 123 B: D.C.

SILVER OAK

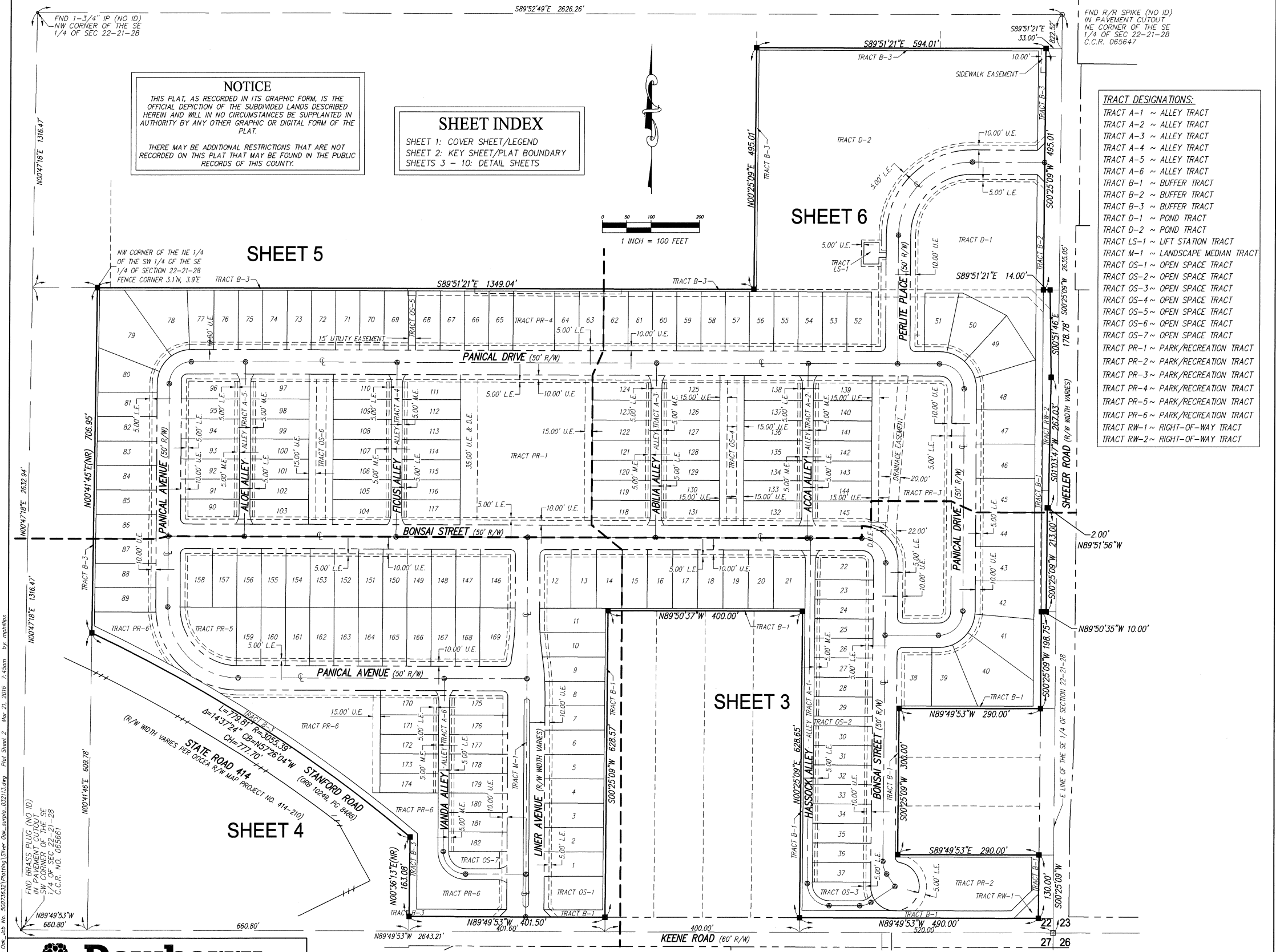
SITUATED IN SECTION 22, TOWNSHIP 21 SOUTH, RANGE 28 EAST, CITY OF AOPKA, ORANGE COUNTY, FLORIDA

PLAT BOOK: PAGE:

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SHEET INDEX
SHEET 1: COVER SHEET/LEGEND
SHEET 2: KEY SHEET/PLAT BOUNDARY SHEETS 3 - 10: DETAIL SHEETS

- TRACT DESIGNATIONS:**
- TRACT A-1 ~ ALLEY TRACT
 - TRACT A-2 ~ ALLEY TRACT
 - TRACT A-3 ~ ALLEY TRACT
 - TRACT A-4 ~ ALLEY TRACT
 - TRACT A-5 ~ ALLEY TRACT
 - TRACT A-6 ~ ALLEY TRACT
 - TRACT B-1 ~ BUFFER TRACT
 - TRACT B-2 ~ BUFFER TRACT
 - TRACT B-3 ~ BUFFER TRACT
 - TRACT D-1 ~ POND TRACT
 - TRACT D-2 ~ POND TRACT
 - TRACT LS-1 ~ LIFT STATION TRACT
 - TRACT M-1 ~ LANDSCAPE MEDIAN TRACT
 - TRACT OS-1 ~ OPEN SPACE TRACT
 - TRACT OS-2 ~ OPEN SPACE TRACT
 - TRACT OS-3 ~ OPEN SPACE TRACT
 - TRACT OS-4 ~ OPEN SPACE TRACT
 - TRACT OS-5 ~ OPEN SPACE TRACT
 - TRACT OS-6 ~ OPEN SPACE TRACT
 - TRACT OS-7 ~ OPEN SPACE TRACT
 - TRACT PR-1 ~ PARK/RECREATION TRACT
 - TRACT PR-2 ~ PARK/RECREATION TRACT
 - TRACT PR-3 ~ PARK/RECREATION TRACT
 - TRACT PR-4 ~ PARK/RECREATION TRACT
 - TRACT PR-5 ~ PARK/RECREATION TRACT
 - TRACT PR-6 ~ PARK/RECREATION TRACT
 - TRACT RW-1 ~ RIGHT-OF-WAY TRACT
 - TRACT RW-2 ~ RIGHT-OF-WAY TRACT

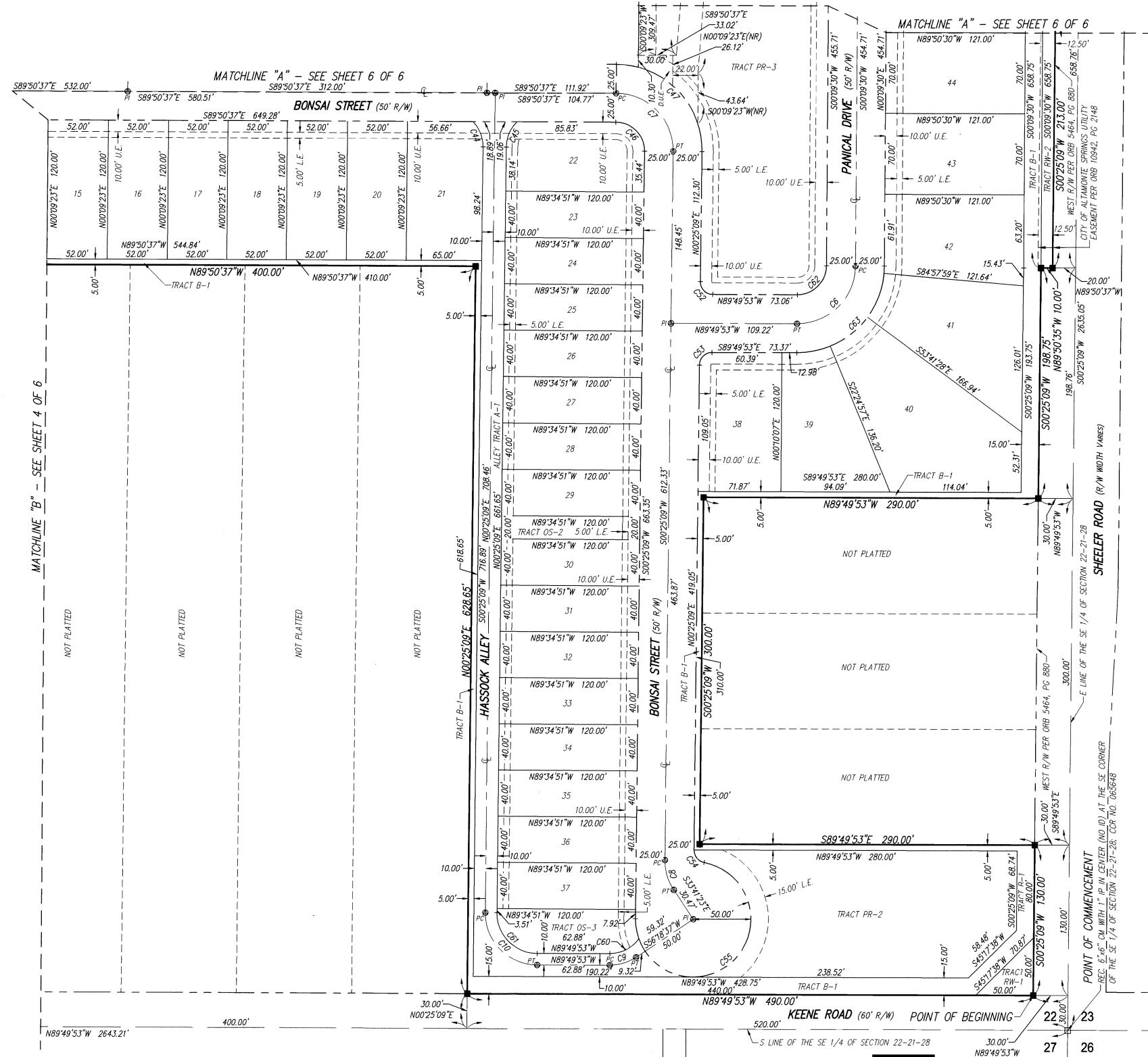
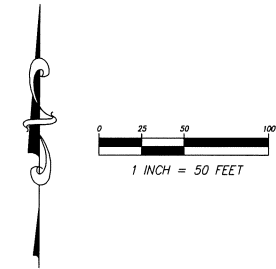


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131 WEST KALEY STREET
ORLANDO, FLORIDA 32806
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CERTIFICATE OF AUTHORIZATION NO. LB 8011

SILVER OAK

SITUATED IN SECTION 22, TOWNSHIP 21 SOUTH, RANGE 28 EAST, CITY OF AOPKA, ORANGE COUNTY, FLORIDA

PLAT BOOK : PAGE:



CURVE TABLE					
CURVE	LENGTH	RADIUS	DELTA	CHORD	BEARING
C6	78.55'	50.00'	90°00'37"	70.72'	N45°09'48"E
C7	78.77'	50.00'	90°15'46"	70.87'	N44°42'44"W
C8	27.38'	46.00'	34°06'32"	26.98'	S16°38'07"E
C9	24.23'	41.00'	33°51'28"	23.88'	N73°14'22"E
C10	70.88'	45.00'	90°15'02"	63.78'	S44°42'22"E
C44	24.07'	31.00'	44°29'38"	23.47'	S21°49'40"E
C45	24.32'	31.00'	44°56'48"	23.70'	N22°53'33"E
C46	39.38'	25.00'	90°15'46"	35.44'	S44°42'44"E
C47	118.15'	75.00'	90°15'47"	106.31'	N44°42'44"W
C49	34.21'	75.00'	26°08'09"	33.92'	N62°02'21"W
C50	39.95'	75.00'	30°31'01"	39.48'	N33°42'47"W
C51	24.70'	75.00'	18°52'25"	24.59'	N09°01'03"W
C52	17.33'	11.00'	90°15'02"	15.59'	N44°42'22"W
C53	17.23'	11.00'	89°44'58"	15.52'	N45°17'38"E
C54	15.28'	11.00'	79°36'40"	14.08'	S39°23'11"E
C55	226.55'	50.00'	259°36'40"	76.82'	N50°36'49"E
C56	147.79'	50.00'	169°21'38"	99.57'	N05°29'18"E
C57	49.00'	50.00'	56°08'31"	47.06'	S61°45'38"E
C58	12.04'	50.00'	13°48'01"	12.01'	S26°47'22"E
C59	17.72'	50.00'	20°18'30"	17.63'	S09°44'06"E
C60	29.31'	31.00'	54°09'59"	28.23'	S63°05'07"W
C61	55.13'	35.00'	90°15'02"	49.61'	N44°42'22"W
C62	39.27'	25.00'	90°00'37"	35.36'	S45°09'48"W
C63	117.82'	75.00'	90°00'37"	106.08'	S45°09'48"W
C64	29.56'	75.00'	22°35'03"	29.37'	N78°52'35"E
C65	40.94'	75.00'	31°16'31"	40.43'	N51°56'48"E
C66	40.94'	75.00'	31°16'31"	40.43'	N20°40'17"E
C67	6.38'	75.00'	4°52'32"	6.38'	N02°35'46"E

SHEET INDEX	
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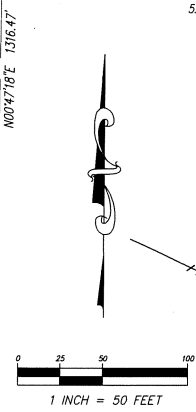
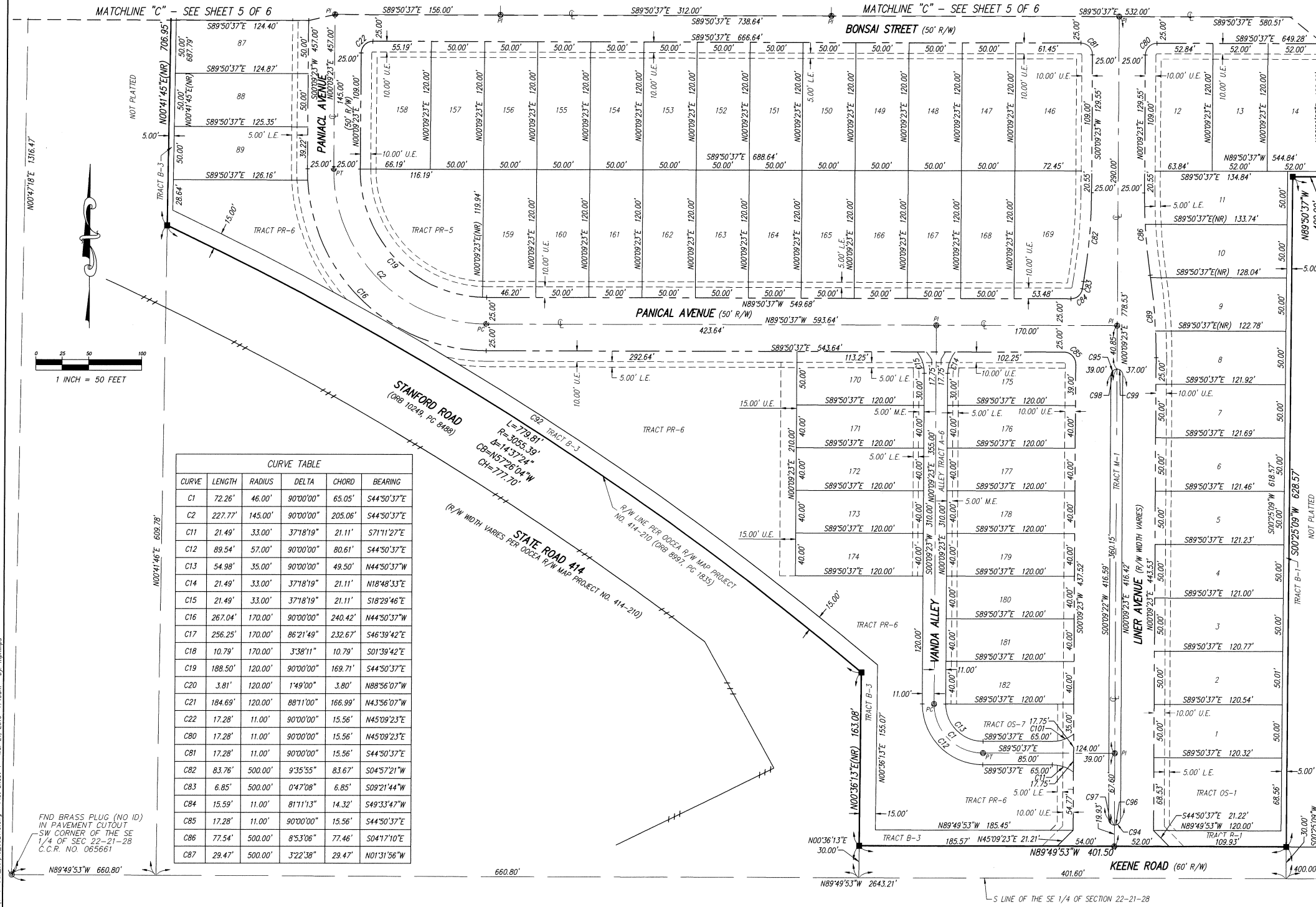
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 CERTIFICATE OF AUTHORIZATION NO. LB 8011

Drawing name: S:\Silver Oak Job No. 50079652\Working\Silver Oak.dwg Date: 02/13/2018 7:46am By: mphillips

SILVER OAK

SITUATED IN SECTION 22, TOWNSHIP 21 SOUTH, RANGE 28 EAST, CITY OF APOKA, ORANGE COUNTY, FLORIDA

PLAT BOOK : PAGE :



CURVE	LENGTH	RADIUS	DELTA	CHORD	BEARING
C1	72.26'	46.00'	90°00'00"	63.05'	S44°50'37"E
C2	227.77'	145.00'	90°00'00"	205.06'	S44°50'37"E
C11	21.49'	33.00'	37°18'19"	21.11'	S71°11'27"E
C12	89.54'	57.00'	90°00'00"	80.61'	S44°50'37"E
C13	54.98'	35.00'	90°00'00"	49.50'	N44°50'37"W
C14	21.49'	33.00'	37°18'19"	21.11'	N18°48'33"E
C15	21.49'	33.00'	37°18'19"	21.11'	S18°29'46"E
C16	267.04'	170.00'	90°00'00"	240.42'	N44°50'37"W
C17	256.25'	170.00'	86°21'49"	232.67'	S46°39'42"E
C18	10.79'	170.00'	3°38'11"	10.79'	S01°39'42"E
C19	188.50'	120.00'	90°00'00"	169.71'	S44°50'37"E
C20	3.81'	120.00'	1°49'00"	3.80'	N88°56'07"W
C21	184.69'	120.00'	88°11'00"	166.99'	N43°56'07"W
C22	17.28'	11.00'	90°00'00"	15.56'	N45°09'23"E
C80	17.28'	11.00'	90°00'00"	15.56'	N45°09'23"E
C81	17.28'	11.00'	90°00'00"	15.56'	S44°50'37"E
C82	83.76'	500.00'	9°35'55"	83.67'	S04°57'21"W
C83	6.85'	500.00'	0°47'08"	6.85'	S09°21'44"W
C84	15.59'	11.00'	81°11'13"	14.32'	S49°33'47"W
C85	17.28'	11.00'	90°00'00"	15.56'	S44°50'37"E
C86	77.54'	500.00'	8°53'06"	77.46'	S04°17'10"E
C87	29.47'	500.00'	3°22'38"	29.47'	N01°31'56"W

FND BRASS PLUG (NO ID) IN PAVEMENT CUTOUT SW CORNER OF THE SE 1/4 OF SEC 22-21-28 C.C.R. NO. 065661

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CURVE	LENGTH	RADIUS	DELTA	CHORD	BEARING
C88	48.07'	500.00'	5°30'29"	48.05'	N05°58'29"W
C89	77.54'	500.00'	8°53'06"	77.46'	S04°17'10"E
C90	2.25'	500.00'	0°15'30"	2.25'	N08°35'59"W
C91	50.27'	500.00'	5°45'39"	50.25'	N05°35'24"W
C92	25.01'	500.00'	2°51'58"	25.01'	N01°16'36"W
C93	792.12'	3070.39'	14°46'53"	789.92'	N57°22'51"W

CURVE	LENGTH	RADIUS	DELTA	CHORD	BEARING
C94	17.80'	5.67'	179°59'20"	11.33'	S89°50'33"E
C95	17.64'	5.67'	178°13'09"	11.34'	N88°57'11"W
C96	8.90'	5.67'	89°59'36"	8.01'	N45°09'35"E
C97	8.90'	5.67'	89°59'45"	8.01'	S44°50'45"E
C98	8.73'	5.67'	88°14'53"	7.90'	S46°03'41"W
C99	5.67'	89°58'16"	8.02'	N44°49'45"W	
C100	1.00'	37°16'19"	21.11'	N71°30'14"E	

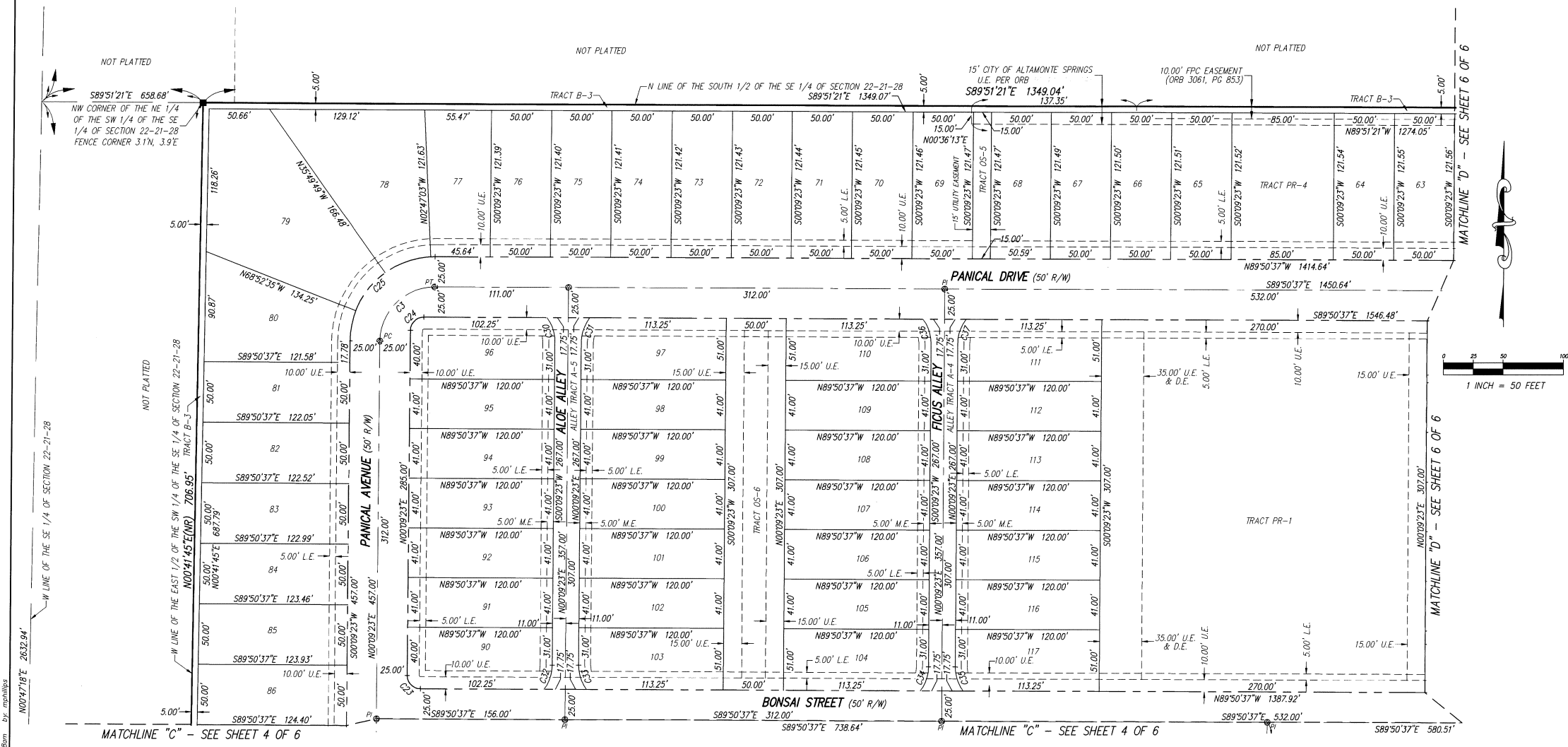
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Drawing name: S:\Silver Oak Job No. 50073632\Working\Silver Oak.dwg, 02/21/2016, 7:46am, by: mphillips

SILVER OAK

SITUATED IN SECTION 22, TOWNSHIP 21 SOUTH, RANGE 28 EAST, CITY OF AOPKA, ORANGE COUNTY, FLORIDA

PLAT BOOK : PAGE:



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 Date: 02/11/13 10:48 AM by: mp/philips
 Date: 02/11/13 10:48 AM by: mp/philips

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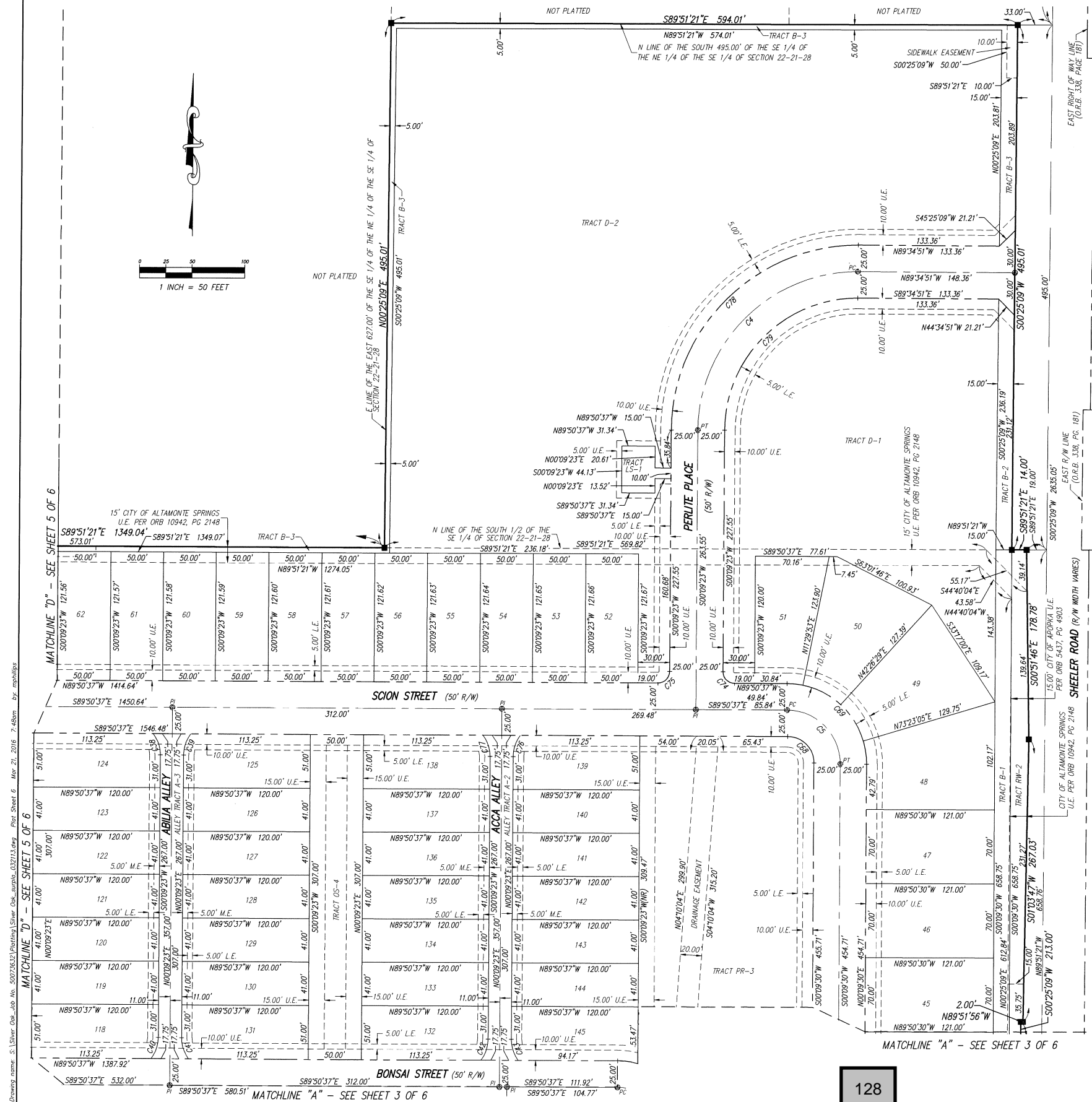
CURVE TABLE					
CURVE	LENGTH	RADIUS	DELTA	CHORD	BEARING
C3	70.69'	45.00'	90°00'00"	63.64'	S45°09'23"W
C23	17.28'	11.00'	90°00'00"	15.56'	N44°50'37"W
C24	17.28'	11.00'	90°00'00"	15.56'	N45°09'23"E
C25	109.96'	70.00'	90°00'00"	98.99'	N45°09'23"E
C26	25.62'	70.00'	20°58'02"	25.47'	S10°38'24"W
C27	40.37'	70.00'	33°02'46"	39.82'	S37°38'48"W
C28	40.37'	70.00'	33°02'46"	39.82'	S70°41'34"W
C29	3.59'	70.00'	2°56'26"	3.59'	S88°41'10"W
C30	21.49'	33.00'	37°18'19"	21.11'	S18°29'46"E
C31	21.49'	33.00'	37°18'19"	21.11'	N18°48'33"E
C32	21.49'	33.00'	37°18'19"	21.11'	S18°48'33"W
C33	21.49'	33.00'	37°18'19"	21.11'	N18°29'46"W
C34	21.49'	33.00'	37°18'19"	21.11'	S18°48'33"W
C35	21.49'	33.00'	37°18'19"	21.11'	N18°29'46"W
C36	21.49'	33.00'	37°18'19"	21.11'	S18°29'46"E
C37	21.49'	33.00'	37°18'19"	21.11'	N18°48'33"E

Dewberry
 131 WEST KALEY STREET
 ORLANDO, FLORIDA 32806
 PHONE: 321.354.9826 FAX: 407.648.9104
 WWW.DEWBERRY.COM
 CERTIFICATE OF AUTHORIZATION No. LB 8011

SILVER OAK

SITUATED IN SECTION 22, TOWNSHIP 21 SOUTH, RANGE 28 EAST, CITY OF APOPKA, ORANGE COUNTY, FLORIDA

PLAT BOOK : PAGE :



CURVE TABLE

CURVE	LENGTH	RADIUS	DELTA	CHORD	BEARING
C4	236.31'	150.00'	90°15'46"	212.62'	S45°17'16"W
C5	80.11'	51.00'	90°00'07"	72.13'	N44°50'34"W
C38	21.49'	33.00'	37°18'19"	21.11'	S18°29'46"E
C39	21.49'	33.00'	37°18'19"	21.11'	N18°48'33"E
C40	21.49'	33.00'	37°18'19"	21.11'	S18°48'33"W
C41	21.49'	33.00'	37°18'19"	21.11'	N18°29'46"W
C42	21.49'	33.00'	37°18'19"	21.11'	S18°48'33"W
C43	21.49'	33.00'	37°18'19"	21.11'	N18°29'46"W
C48	19.29'	75.00'	14°44'12"	19.24'	S82°28'31"E
C68	39.27'	25.00'	90°00'07"	35.36'	S44°50'34"E
C69	119.38'	76.00'	90°00'07"	107.48'	S44°50'34"E
C70	22.25'	76.00'	16°46'25"	22.17'	N08°13'43"W
C71	41.04'	76.00'	30°56'36"	40.55'	N32°05'13"W
C72	41.04'	76.00'	30°56'36"	40.55'	N63°01'49"W
C73	15.05'	76.00'	11°20'30"	15.02'	N84°10'22"W
C74	17.28'	11.00'	90°00'00"	15.56'	S44°50'37"E
C75	17.28'	11.00'	90°00'00"	15.56'	S45°09'23"W
C76	21.49'	33.00'	37°18'19"	21.11'	N18°48'33"E
C77	21.49'	33.00'	37°18'19"	21.11'	S18°29'46"E
C78	275.69'	175.00'	90°15'46"	248.05'	S45°17'16"W
C79	196.92'	125.00'	90°15'46"	177.18'	N45°17'16"E

SHEET INDEX
 SHEET 1: COVER SHEET/LEGEND
 SHEET 2: KEY SHEET/PLAT BOUNDARY
 SHEETS 3 - 10: DETAIL SHEETS

NOTICE
 THIS PLAT, AS RECORDED IN ITS GRAPHIC FORM, IS THE OFFICIAL DEPICTION OF THE SUBDIVIDED LANDS DESCRIBED HEREIN AND WILL IN NO CIRCUMSTANCES BE SUPPLANTED IN AUTHORITY BY ANY OTHER GRAPHIC OR DIGITAL FORM OF THE PLAT.
 THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.

Dewberry
 131 WEST KALEY STREET
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 CERTIFICATE OF AUTHORIZATION No. LB 8011

SHEET 6 OF 6

Backup material for agenda item:

1. Approve the appointment of Kerry Luellen to the Police Officers' Retirement System Board of Trustees.



CITY OF APOPKA CITY COUNCIL

- CONSENT AGENDA
- PUBLIC HEARING
- SPECIAL REPORTS
- OTHER:

MEETING OF: May 4, 2016
 FROM: Mayor Kilsheimer
 EXHIBITS: Board Appointment
 Form, Resume

SUBJECT: APPROVE APPOINTMENT OF KERRY LUELLEN TO THE POLICE OFFICERS' RETIREMENT SYSTEM BOARD OF TRUSTEES.

REQUEST: APPROVE APPOINTMENT OF KERRY LUELLEN TO THE POLICE OFFICERS' RETIREMENT SYSTEM BOARD OF TRUSTEES FOR TWO (2) YEAR TERM ENDING FEBRUARY 19, 2018.

SUMMARY:

Mayor Kilsheimer recommends appointment of Kerry Luellen, legal resident and financial advisor, to the Police Officers' Retirement System Board of Trustees for the two-year term ending February 19, 2018.

FUNDING SOURCE:

N/A

RECOMMENDATION ACTION:

Appoint Kerry Luellen to Police Officers' Retirement System Board of Trustees for the two-year term ending February 19, 2018.

DISTRIBUTION

Mayor Kilsheimer	Finance Director	Public Services Director
Commissioners	HR Director	Recreation Director
City Administrator	IT Director	City Clerk
Community Development Director	Police Chief	Fire Chief



CITY OF APOPKA
BOARD APPOINTMENT INFORMATION FORM

Please type if possible, or print clearly

Date: 4/27/16

Board(s) Desired:
1. Police Pension Board of Trustees
2. _____
3. _____

Name: Kerry D. Luellen

Address: (Home) [Redacted]
(Business) [Redacted]

Phone: (Home) [Redacted]

Employer: Edward Jones

Position: Financial Advisor

Education:
High School Blue River Valley Years Comp. 1975 Degree _____
College Ball State University 1980 B.S.

- 1. Are you a City of Apopka resident? Yes X No _____
- 2. Are you a registered voter? Yes X No _____
- 3. Do you own property in Apopka? Yes X No _____
- 4. Are you currently serving on a City Board? Yes _____ No X
- 5. Have you ever served on a City Board? Yes _____ No X

If yes, when and which Board? _____

6. How long have you lived in Central Florida? Years 26

7. References:

Name	Address	Phone No.

City of Apopka
Board Appointment Information Form - Page 2

Work Experience: 1980-1985: CPA with large CPA firm
1985-1989: Controller for (2) different companies
1990-present: Certified Financial Planner &
Financial Advisor with Edward Jones

Community Involvement:
Apopka Chamber of Commerce
Apopka Historical Society
Former Sertoma member

Interests/Activities:
Tennis, traveling, hiking in the mountains

Why do you want to serve on this/these Board(s)?
Share my unique perspective after over
36 years as a financial professional

A resume or separate sheet with additional information may be included.

I understand the responsibilities associated with being a Board member, and I have adequate time to serve on the above Board(s).


Signature

If you have questions, please call the Community Development Department at (407) 703-1712.

Return this form to: Mayor's Office
120 E. Main Street
P. O. Box 1229
Apopka, Florida 32704-1229

*****NOMINATING BOARD USE ONLY*****

AIF Received _____

Info to Staff _____

AIF Acknowledged _____

Mayor's Letter _____

Forwarded to Mayor _____

Other _____

Council Action _____



Kerry D Luellen

This brochure supplement provides information about your financial advisor that supplements the Edward Jones brochure, which contains important information regarding Edward Jones as an investment adviser. You should have received a copy of the brochure. Please contact Edward Jones Client Relations at 800-803-3333 if you did not receive the Edward Jones brochure or if you have any questions about the content of this supplement.

Business Experience / Education Background

This section describes the individual's business experience for the past five years and education.

Edward Jones

Financial Advisor

All Edward Jones financial advisors complete a comprehensive and ongoing training program that includes all required licensing examinations, investment education, and instruction in identifying appropriate solutions for specific client needs.

Ball State Univ

Bachelor Degree

Financial Advisor's Year of Birth
1967

CFP® (Certified Financial Planner(TM)) – A professional designation granted by the Certified Financial Planner Board of Standards, Inc. The CFP designation represents the individual's ability to apply financial planning knowledge to client-specific situations in the areas of financial planning, taxes, insurance, estate planning and retirement. Before a financial professional can be certified as a CFP, the individual must complete the CFP Board's certification process consisting of initial requirements in Education, Examination, Experience and Ethics. Applicants for certification must also have a bachelor's degree (or higher), or its equivalent, from an accredited college or university in order to obtain certification.

Your financial advisor holds the following securities registration(s):

General Securities Representative (Series 7)

State Registered Agent (Series 63)

Your financial advisor also holds an insurance license.

Disciplinary Information

This section provides information about certain legal or disciplinary actions available through FINRA BrokerCheck.

None

Other Business Activities

This individual engages in the following investment-related business activities.

Registered Representative of Edward Jones, broker-dealer.

In addition to advisory services, financial advisors perform other services through Edward Jones as a broker-dealer and its affiliates, such as brokerage, investment banking, trust and insurance services. Financial advisors earn transactional and other compensation for these services. The compensation received by the financial advisor for these other services may be more or less than the compensation the financial advisor would earn for advisory activities. As a result, the financial advisor may have a financial incentive to recommend advisory services over other investments and/or services available through Edward Jones.

Backup material for agenda item:

2. Approve the appointment of Randall G. West to the Police Officers' Retirement System Board of Trustees.



CITY OF APOPKA CITY COUNCIL

- CONSENT AGENDA
- PUBLIC HEARING
- SPECIAL REPORTS
- OTHER:

MEETING OF: May 4, 2016
 FROM: Mayor Kilsheimer
 EXHIBITS: Board Appointment
 Form, Résumé

SUBJECT: APPOINT RANDALL G. WEST TO THE POLICE OFFICERS’ RETIREMENT SYSTEM BOARD OF TRUSTEES.

REQUEST: APPOINT RANDALL G. WEST TO THE POLICE OFFICERS’ RETIREMENT SYSTEM BOARD OF TRUSTEES FOR TWO (2) YEAR TERM ENDING FEBRUARY 19, 2018.

SUMMARY:

Mayor Kilsheimer recommends appointment of Randall G. West, legal resident and investment portfolio consultant, to the Police Officers’ Retirement System Board of Trustees for the two-year term ending February 19, 2018.

FUNDING SOURCE:

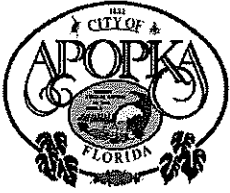
N/A

RECOMMENDATION ACTION:

Appoint Randall G. West to the Police Officers’ Retirement System Board of Trustees for the two-year term ending February 19, 2018.

DISTRIBUTION

Mayor Kilsheimer	Finance Director	Public Services Director
Commissioners	HR Director	Recreation Director
City Administrator	IT Director	City Clerk
Community Development Director	Police Chief	Fire Chief



CITY OF APOPKA
BOARD APPOINTMENT INFORMATION FORM

Please type if possible, or print clearly

Date: 4/11/16

Board(s) Desired:

1. Apopka Police Pension Board
2. _____
3. _____

Name: Randall G West

Address: (Home) [Redacted] Apopka, FL 32712

(Business) [Redacted]

Phone: (Home) [Redacted]

Employer: Charles Schwab Investment

Position: Portfolio Consultant

Education:

	Years Comp.	Degree
High School <u>West High School</u>	<u>4</u>	<u>_____</u>
College <u>Rockford University</u>	<u>4</u>	<u>B.S.</u>

1. Are you a City of Apopka resident? Yes No
2. Are you a registered voter? Yes No
3. Do you own property in Apopka? Yes No
4. Are you currently serving on a City Board? Yes No
5. Have you ever served on a City Board? Yes No

If yes, when and which Board? _____

6. How long have you lived in Central Florida? Years 14

7. References:

Name	Address	Phone No.
<u>Paster Jim Poye</u>	[Redacted]	[Redacted]
<u>Johnny Escobedo</u>	[Redacted]	[Redacted]
<u>Lisa DiHelich</u>	[Redacted]	[Redacted]

Altamonte Springs, FL 32714

(Continued on other side)

**City of Apopka
Board Appointment Information Form - Page 2**

Work Experience:
Financial Services/Banking for the last 40 years, (31 years in Central Florida)
See Attached Resume

Community Involvement:
Past Member - Apopka Sertoma at Erroll CC
Past Member - ROTARY Club (The Villages, FL + Parker, Colorado)
Volunteer - Hospice of the Comforter (past volunteer)

Interests/Activities:
Golf/Boating/Flying

Why do you want to serve on this/these Board(s)?
I was asked by the Mayor to do my Civic Duty to serve;
And to Add Value with my long term business Experience.
A resume or separate sheet with additional information may be included.

I understand the responsibilities associated with being a Board member, and I have adequate time to serve on the above Board(s).

[Handwritten Signature]

 Signature

If you have questions, please call the Community Development Department at (407) 703-1712.

Return this form to: Mayor's Office
 120 E. Main Street
 P. O. Box 1229
 Apopka, Florida 32704-1229

*****NOMINATING BOARD USE ONLY*****

AIF Received _____
 AIF Acknowledged _____
 Forwarded to Mayor _____
 Council Action _____

Info to Staff _____
 Mayor's Letter _____
 Other _____

RANDALL G. WEST

Apopka, Florida 32712

Cell Phone: [REDACTED]

Career History:

- Aug 2015 to present** **Charles Schwab Investments**
Portfolio Consultant, Maitland, Florida
- Nov 2010 Aug 2015** **Talon Wealth Management**
Financial Consultant, The Villages, Florida
- Mar. 2007 to Nov. 2010** **Collier First National Investments**
Financial Consultant, Mount Dora, Florida
- 1985 to 2007**
Summary **Central Florida / Denver**
Financial Consultant / Investment advisor / Mortgages / Insurance
International Speaker: US Stock and Options Markets
Bank of America / Barnett Bank of Florida (merged) (1993-'97 2002-'04)
Wells Fargo Bank in Denver, Colorado (1998 – 2001)
Nationwide Insurance: Agent / Manager (1989 – 1993)
- 1973 to 1985**
Summary **Rockford, Waukegan and Chicago, Illinois**
Banking Management / Investment Advisory Services
First Federal Savings and Loan, Rockford
Lake County Savings and Loan, Waukegan
Merrill Lynch Pierce Fenner and Smith Investments, Chicago

Honors and Achievements:

- Author of "Guarding Your Nest Egg" on Amazon.com – 2013
Radio Show Host for "It's Your Money" in Lake County Florida, 2007-2009
Selected for 1993 edition of "Who's Who Among Rising Young Americans."
TV Show host for "Investing For Retirement" Barnett Bank, 1995
Author of the book "A Guide for the Conservative Investor"
Valencia Community College, Orlando, Florida: First Television Instructor for course in Investments

Education:

- Bachelor of Science in Business – 1981 Graduate; Rockford College; Rockford, Illinois
Certified Financial Planner Designation, 1990

Previous History of Community Involvement with Not-For-Profit Groups

- The IceHouse Theatre, Mount Dora, Florida
Board President March 2008 – Present
Waterman Village Foundation, Mount Dora, Florida
Board Member: 2008 – Present
Mount Dora Chamber of Commerce and Apopka Chamber of Commerce: Member

Backup material for agenda item:

3. Approve the reappointment of Todd Bengston to the Firefighters' Retirement System Board of Trustees.



CITY OF APOPKA CITY COUNCIL

- CONSENT AGENDA
- PUBLIC HEARING
- SPECIAL REPORTS
- OTHER:

MEETING OF: May 4, 2016
 FROM: Mayor Kilsheimer
 EXHIBITS: None

SUBJECT: APPROVE REAPPOINTMENT OF TODD BENGSTON TO THE FIREFIGHTERS' RETIREMENT SYSTEM BOARD OF TRUSTEES.

REQUEST: APPROVE REAPPOINTMENT OF TODD BENGSTON TO THE FIREFIGHTERS' RETIREMENT SYSTEM BOARD OF TRUSTEES FOR TWO (2) YEAR TERM ENDING FEBRUARY 19, 2018.

SUMMARY:

Todd Bengston, legal Apopka resident and District Fire Chief, was first recommended for appointment to the Firefighters' Retirement System Board of Trustees on February 19, 2014, by then-Mayor John Land. Mayor Kilsheimer recommends reappointment of Todd Bengston to the Firefighters' Retirement System Board of Trustees for the two-year term ending February 19, 2018.

FUNDING SOURCE:

N/A

RECOMMENDATION ACTION:

Reappoint Todd Bengston to Firefighters' Retirement System Board of Trustees for the two-year term ending February 19, 2018.

DISTRIBUTION

Mayor Kilsheimer	Finance Director	Public Services Director
Commissioners	HR Director	Recreation Director
City Administrator	IT Director	City Clerk
Community Development Director	Police Chief	Fire Chief

Backup material for agenda item:

4. Approve the reappointment of Mayor Kilsheimer to the Firefighters' Retirement System Board of Trustees.



CITY OF APOPKA CITY COUNCIL

- CONSENT AGENDA
- PUBLIC HEARING
- SPECIAL REPORTS
- OTHER:

MEETING OF: May 4, 2016
 FROM: Mayor Kilsheimer
 EXHIBITS:

SUBJECT: APPROVE REAPPOINTMENT OF MAYOR KILSHEIMER TO THE FIREFIGHTERS' RETIREMENT SYSTEM BOARD OF TRUSTEES.

REQUEST: APPROVE REAPPOINTMENT OF MAYOR KILSHEIMER TO THE FIREFIGHTERS' RETIREMENT SYSTEM BOARD OF TRUSTEES FOR TWO (2) YEAR TERM ENDING FEBRUARY 19, 2018.

SUMMARY:

Mayor Kilsheimer, legal Apopka resident, was first recommended for appointment to the Firefighters' Retirement System Board of Trustees on February 2, 2015, to serve out the remaining term of Mayor John Land. Mayor Kilsheimer recommends his reappointment to the Firefighters' Retirement System Board of Trustees for the two-year term ending February 19, 2018.

FUNDING SOURCE:

N/A

RECOMMENDATION ACTION:

Reappoint Mayor Kilsheimer to Firefighters' Retirement System Board of Trustees for the two-year term ending February 19, 2018.

DISTRIBUTION

Mayor Kilsheimer	Finance Director	Public Services Director
Commissioners	HR Director	Recreation Director
City Administrator	IT Director	City Clerk
Community Development Director	Police Chief	Fire Chief

Backup material for agenda item:

1. Thank you letter to the City of Apopka from the Harbor House of Central Florida.



April 7, 2016

City of Apopka
PO Box 1229
Apopka, FL 32704

Dear Friends of Harbor House,

Thank you for your generous contribution of \$2,500.00 to Harbor House of Central Florida. Your gift will help protect adults and children who seek refuge from domestic abuse. Your gift helps prepare them to live safely, peacefully and independently. We will see to it that these funds be used within the EVE program, as requested.

When they flee abuse, survivors often arrive at our door with only the clothes on their backs – but they've taken a courageous step. Your generosity helps empower and strengthen them with legal advocacy, training, and education to live in courageous in freedom – in new lives where they make their own decisions – and can encourage other survivors to recognize abuse and how to break free.

Thank you for standing courageously with our survivors, as they chose freedom from abuse – and then help others to take that same path to freedom.

When you give to survivors of domestic abuse, you save lives.

Thank you for making a difference.

A handwritten signature in black ink, appearing to read 'Tekoa', written over a horizontal line.

Tekoa Pouerie
Director of Development

A handwritten note in black ink that reads 'Thank you for your generous donation!' written over a horizontal line.

Your gift is tax deductible as allowed by law. This letter is your official receipt to retain for tax purposes. No goods or services were rendered in exchange for this gift. Harbor House is registered with the State of Florida to solicit contributions #CH604. A copy of the official registration and financial information may be obtained from the division of consumer services by calling toll-free 1-800-HELP-FLA from within the state. Registration does not imply endorsement, approval, or recommendation by the State. Harbor House is registered with the state under the Solicitation of Contributions Act, 1992 under Federal Tax Identification Number 59-1712936.